



La Puerta

SCHOOL SITE

SPECIFIC PLAN | SEPTEMBER 2021



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CHAPTER 1 Introduction

1.1 Purpose

The purpose of the La Puerta School Site Specific Plan is to implement the City of Claremont objectives and policies by providing development regulations, design guidelines and implementation mechanisms for the future development of this subject property.

The design concept for the La Puerta School Site (“La Puerta”) Specific Plan is to create a neighborhood of single family detached homes, tree lined streets, and architecture-forward residential design. La Puerta is a new enclave that embraces the traditional Claremont aesthetic and provides a pleasant neighborhood to come home to.

The Specific Plan is a comprehensive guide to defining future improvements to, and use of, the Specific Plan Area (“SPA”). This Specific Plan describes the permitted land use and infrastructure requirements which will be processed through the City of Claremont.

The Design Guidelines and Development Standards contained in this document will assist in creating a building and landscape character that is pleasing to look at, functional, and encourages pleasant Claremont living.

The La Puerta Specific Plan will serve the following purposes:

- Promote quality development consistent with the goals and policies of the Claremont General Plan.
- Establish development criteria and standards that guide and regulate future development in the Specific Plan area.
- Provide for the creation of a walkable enclave that accommodates single-family residential development;
- Illustrates a vision, by providing a set of development standards and guidelines to establish a visually pleasing, pedestrian friendly, single-family residential community.

1.2 Specific Plan Document Organization

The La Puerta School Site Specific Plan defines a vision and establishes standards and requirements for site development. The Specific Plan is arranged into five chapters as follows:

Chapter 1 Introduction

This chapter provides the purpose and intent of the Specific Plan, development overview, site location, and a summary of the existing conditions affecting the Specific Plan area, including existing City land use and zoning designations, as well as existing and surrounding development area land uses. This section also summarizes the entitlements needed for the project.

Chapter 2 Land Use Regulations

Forming the core of the Specific Plan document, this chapter presents the Land Use Plan, serves as the zoning for the development, specifies the permitted and conditionally permitted uses, and provides development standards and requirements.

Chapter 3 Infrastructure

This chapter describes the transportation requirements, public services, solid waste disposal, utilities, emergency services, and school provisions.

Chapter 4 Design Guidelines

The design guidelines discuss requirements and design directions to successfully implement the community vision and character.

Chapter 5 Implementation & Administration

Provisions for financing/maintenance of improvements, the process for implementation, and procedures for amending this Specific Plan are discussed.

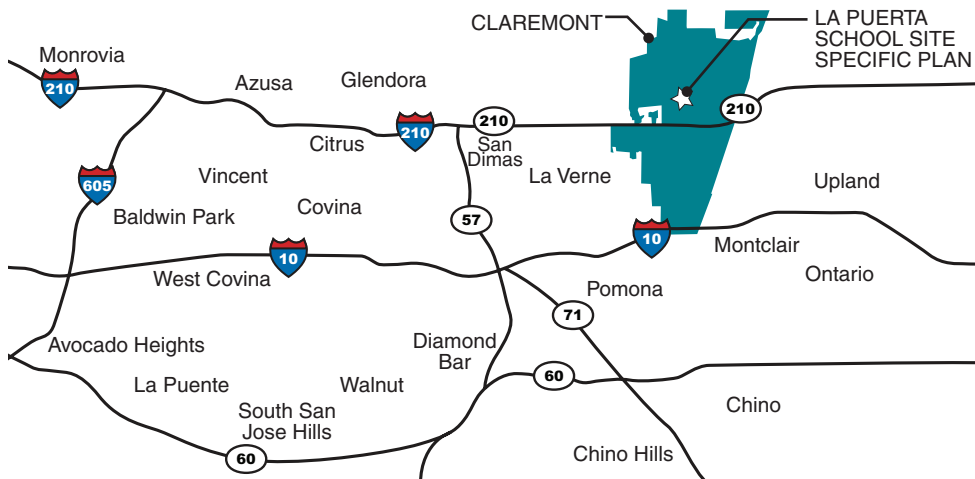


Figure 1.1: Regional Context

1.3 Site Location

The City of Claremont is conveniently located along two major freeways that provide access to all of Southern California, SR-210 and the San Bernardino Freeway (I-10). Because of its strategic location and proximity to Los Angeles County and the San Gabriel Valley, Claremont is served by public rail and bus transit lines that provide residents and employees with alternative ways for traveling to work, shopping, and home. Refer to Figure 1.1: Regional Context and Figure 1.2: Project Location.

The La Puerta Specific Plan is located in the City of Claremont at the foot of the San Gabriel Mountains, east of Los Angeles. The property is bounded on the north by homes and the Thompson Creek Trail, on the east by Forbes Avenue, on the south by residential and on the west by La Puerta Sports Park.

The property is approximately 10.8 acres.

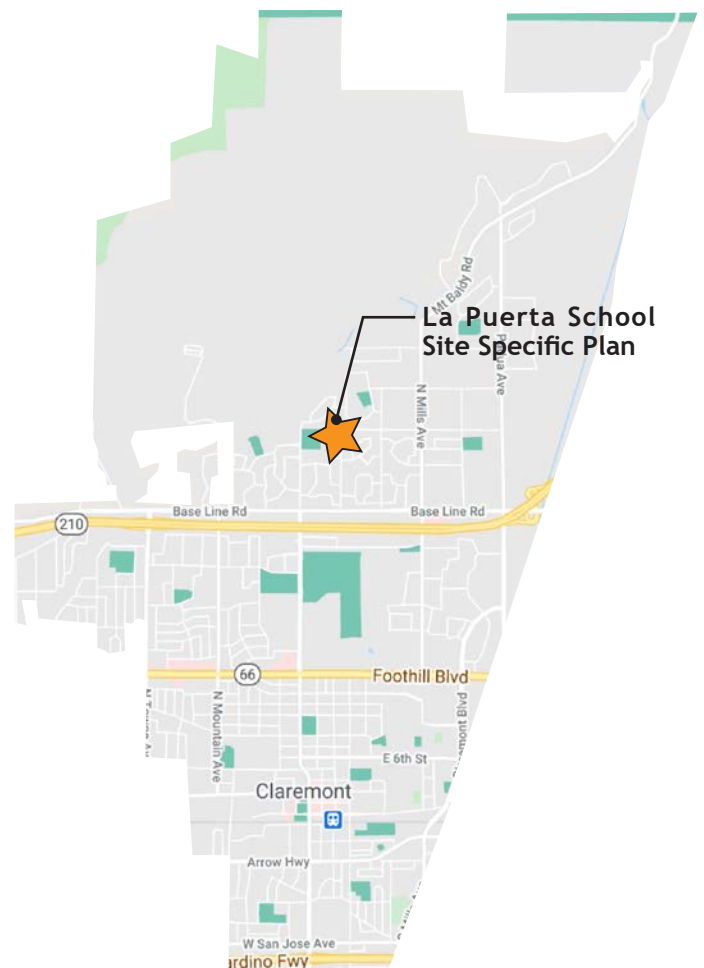


Figure 1.2: Project Location

1.4 Existing Conditions

The vacant site was previously La Puerta Intermediate School. It closed in 1978, and was then used for adult education and finally, demolished in 2018.

The existing site generally slopes from the northeast to the southwest.

Figure 1.3: Property Prior to School Demolition shows an aerial view of the subject parcels with the original school buildings. Figure 1.4: Existing Conditions represents an aerial photograph of the project area post school building demolition as well as surrounding land use designations.

The plan transforms the vacant site into a residential community of single-family homes.

- To the north of the development are one-story single-family homes zoned RS 13,000 with an R6 land use designation.
- To the east across Forbes Avenue are one and two-story single-family homes zoned RS 13,000 with an R6 land use designation.
- To the south are one-story single-family homes zoned RS 13,000 with an R6 land use designation.
- To the west, across North Indian Hill Boulevard are one- and two-story single-family homes zoned RS 13,000 with an R6 land use designation.

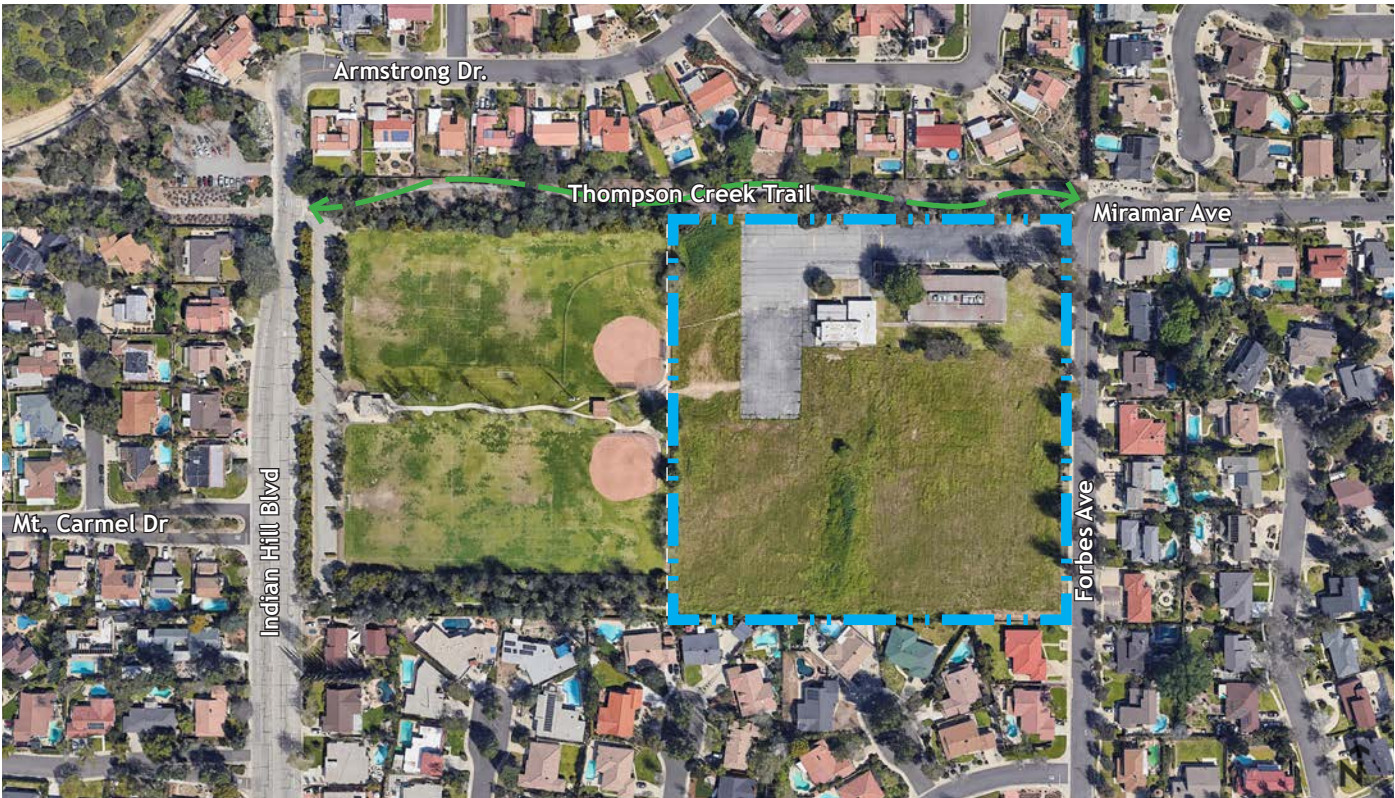


Figure 1.3: Property Prior to School Demolition

■ ■ ■ ■ ■ Specific Plan Boundary



Figure 1.4: Existing Conditions

1.5 Claremont Municipal Code (CMC)

A zone change from the Public (P) zoning designation to Specific Plan (SP) is required in order to implement the development. As such, the boundary has been rezoned to Specific Plan (SP).

The SP designation with a Residential 6 land use designation permits up to 6.0 dwelling units to the acre along with specific development criteria. The Specific Plan designation enables design flexibility to attain superior quality and excellence in design, architecture, and site amenities for the future residents.

The Specific Plan includes new zoning standards for the site, providing site-specific permitted uses and development standards. This zone allows for the development of a residential community and establishes a plan that defines that development. Where conflicts exist between the La Puerta School Site Specific Plan and the CMC, this Specific Plan shall take precedence.

1.6 Specific Plan Authority

The La Puerta School Site Specific Plan is adopted pursuant to Government Code §§65450 and 65457. The Government Code authorizes cities to adopt specific plans by resolution or ordinance.

The Specific Plan is intended to be a regulatory document that serves as the zoning regulation for the property. Some elements of the development program are enforced through conditions, covenants and restrictions (CC&Rs) established in conjunction with the subdivision map for the property.

1.7 Relationship to the General Plan

California Government Code (Title 7, Division 1, Chapter 3, Article 8, Section 65450-65457) permits the adoption and administration of specific plans as an implementation tool for elements contained in the local General Plan. Specific plans must demonstrate consistency in regulations, guidelines, and programs with the goals and policies set forth in the General Plan.

The Specific Plan has been prepared in conformance with the goals and policies of the City of Claremont General Plan. The policy analysis in this Chapter describes the manner in which the Specific Plan complies, in general, with General Plan Goals and Policies applicable to the project.

Land Use, Community Character, and Heritage Preservation Element:

- The Specific Plan meets sustainable development practices through its inclusion of photovoltaic systems, energy efficient appliances, low water use landscape.
- Through the Design Guidelines section of the Specific Plan, neighborhood identity is encouraged and the suggested architectural styles are inspired by the established neighborhoods of Claremont .
- A Homeowners Association (HOA) and defined Covenants, Conditions and Restrictions (CCRs) will regulate the community, upholding the aesthetic and quality of the Specific Plan neighborhood.
- The community will not be gated, permitting public vehicular and pedestrian access into the neighborhood.
- The Specific Plan architecture has been designed to provide a pleasing streetscape along with a landscape palette. Shade trees will be planted along the street as each residence will receive (1) tree in the front and an additional (2) or more trees for corner lots conditions or larger sized lots.
- All utilities within the project will be underground. Therefore, the Specific Plan complies with this policy.

Community Mobility

- There are sidewalks on both sides of the streets. Where homes are fronting Forbes Avenue, sidewalks will be maintained. Connectivity from Forbes Avenue to the Sports Park will continue by way of Thompson Creek Trail and additional access is proposed within the neighborhood.

- All sidewalks within the community will be ADA compliant.
- Street trees shall be planted for a pleasant streetscape and to provide shade. Trees will be planted so as to not hinder visibility and lighting will be installed for low light hours.

Open Space, Parkland, Conservation and Air Quality

- New trees will be planted throughout the Specific Plan area providing shade. Trees and other plantings will be in accordance with the City's regulations and plant palette.
- The Thompson Creek Trail will remain as is and will continue to serve as a pathway and linkage to La Puerta Sports Park from Forbes Avenue.
- Homes will be built using sustainable design methods including energy efficient and water conserving design features. Furthermore, homes will be pre-wired for EV charging.

Public Safety and Noise

- The site plan has been designed to accommodate fire-fighting equipment and accessibility. All homes as well as the site plan go through fire department review.
- The project has an approved Environmental Impact Report (EIR), mitigation measures have been included in the EIR and will be complied with.

Housing

- The Specific Plan Design Guidelines direct the visual aesthetic of the community. The architecture styles and landscape design have been chosen based on the traditional Claremont character.

Provided styles include Cottage, Bungalow, Craftsman and Spanish, all which can be found throughout the area.

- The La Puerta Specific Plan encourages innovative housing that provides new options for the Claremont residents. The homes have a number of different floor plans to suit various household needs.

1.8 Goals and Objectives

The La Puerta Specific Plan does the following:

- Provide housing opportunities responsive to the needs of the community.
- Reclaim this vacant site and transform it into a vibrant living environment.
- Create a cohesive enclave through leading edge architectural and landscape design.
- Implement a compact development program and include Accessory Dwelling Units.
- Promote indoor/outdoor living.
- Use water-wise landscape principles.
- Create a sustainable residential community:
 - Utilize solar energy.
 - Encourage clean mobility with including EV Capable infrastructure in each home.
- Provide a desirable community that people want to come home to.

Implementation of the Specific Plan provides the parameters for a desirable, compact single-family detached development. The Plan coordinates the land use, intensity, and scale of development with the goals and policies of the Claremont General Plan.



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CHAPTER 2 Land Use Regulations

2.1 The Concept

The development envisions a single family detached home community. The lots can be configured in either a z-lot configuration or as conventional rectangular lots (Refer to Figure 2.2 and Figure 2.3 for conceptual configurations). The z-lot formation is an innovative design that enables efficiency in the overall project while providing all of the advantages of conventional single family lots. To accommodate the City's preference in creating an appearance more similar to side yards across Forbes Avenue, homes along Forbes Avenue are to be traditional lots. Homes along the interior streets are permitted to be z-lot configuration. The illustrative site plan, shown in Figure 2.1: Conceptual Site Plan, illustrates how such development can occur.

Anything not addressed in this Specific Plan reverts to the provision of the Zoning Code for RS Single-Family Districts as applicable.

2.2 Sustainability (RDS)

The number four Goal Area stated in the Claremont Sustainable City Plan is for a sustainable built environment, which considers new construction, neighborhood development, infrastructure development, and existing development. The City recommends sustainable sites to implement this goal of which the Specific Plan accommodates. The following are strategies that are being implemented to support sustainable design and construction methods:

- Homes shall be built to Title 24 Code Requirements, at minimum resulting in homes that promote energy efficiency, water use reduction, and improved indoor air quality.
- Photovoltaics (PVs) shall be provided on each home, reducing impacts on the electrical grid.
- Homes shall be fitted with EV Capable infrastructure.
- Low-flow water fixtures, tankless water heaters, high-performance Energy Star, energy efficient appliances and materials shall be provided.
- The landscape shall be climate appropriate and designed for low water consumption.
- Highly efficient irrigation and ocean friendly storm water treatment shall be installed.
- Smart technology shall be used for irrigation controls.

2.3 Land Use Regulations

The maximum density is 6.0 units per acre. Specific site planning and design strategies have been developed.

2.3.1 Permitted Uses

- The uses permitted are described in CMC §16.001.010 Uses and Development Permitted in the RS Districts.
- Accessory dwelling units are permitted and subject to the development standards of this chapter (Section 2.3) and requirements of Chapter 16.333, Accessory Second Units.

2.3.2 Development Regulations (RDS)

Refer to Table 2.1: Development Regulations for development requirements. Any modifications, additions, patio covers, or accessory structures shall require review by the Architectural Commission and approval by City staff.

Table 2.1: Development Regulations

Lot Area and Dimensions	Minimums
Size	4,000 SF
Width	Z-Lot: 40'/50' Conventional Lot: 50'
Depth	90'
Setbacks (from property line to structure) ¹	Minimums
Front	14' to living area; 10' to porch; 8' to low wall
Interior Side	5' to living area;
Street Side	20' to garage door; 15' to living area
Rear	10' to living area; 8' to corner lot living area
Driveway	20' to garage door
Building Separation ²	10'
Setbacks (from Forbes ROW to structure) ¹	Minimums
Front	14' to living area; 10' to porch; 8' to low wall
Interior Side	5' to living area;
Street Side	20' to garage door; 15' to living area
Rear	10' to living area; 8' to corner lot living area
Driveway	20' to garage door
Building Separation ²	10'
Private Open Space	Minimums
Private Open Space Per Home	400 square feet with a minimum dimension of 10'
Heights	Maximums
Buildings (Measured Finished Grade to Roof Ridge)	2 stories; 35'
Wall/Fence Along Site Boundary	6' high
Wall/Fence Between Homes	6' high
Front Yard/Side Yard Low Walls	3' high
Parking	
Garage Interior Dimension (from interior of wall)	9' x 20' minimum per space
Number of Spaces	2 covered spaces per home

1. Eaves are permitted to encroach in all setback areas up to 30 inches.

2. Entry facilities, eaves, and minor architectural features which extend into the area between buildings shall not be considered when calculating the distance between buildings, provided a separation of not less than four feet is maintained by such features.



CHAPTER 2 L

SPECIFIC PLAN
Draft September 2021

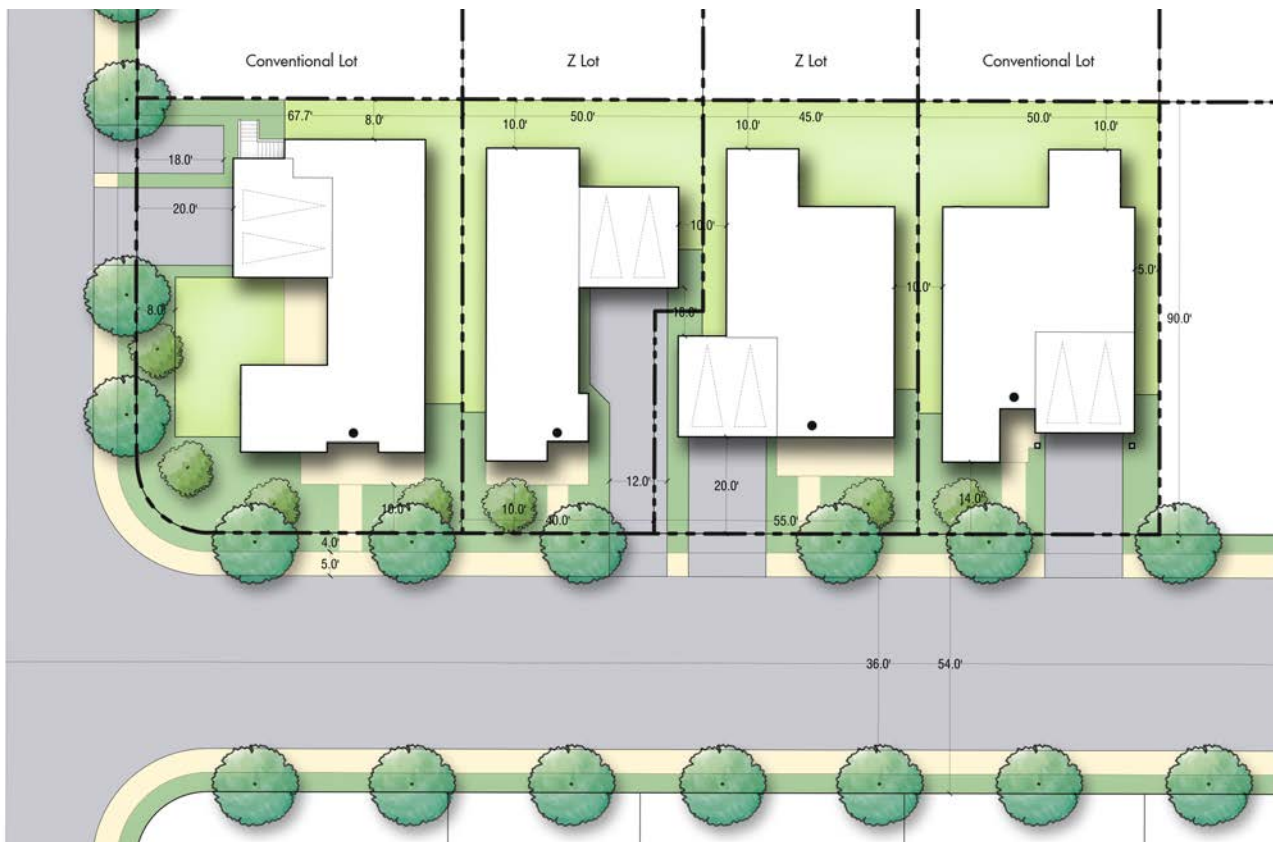


Figure 2.1: Conceptual Z-Lot Configuration (subject to change, for illustrative purposes only)

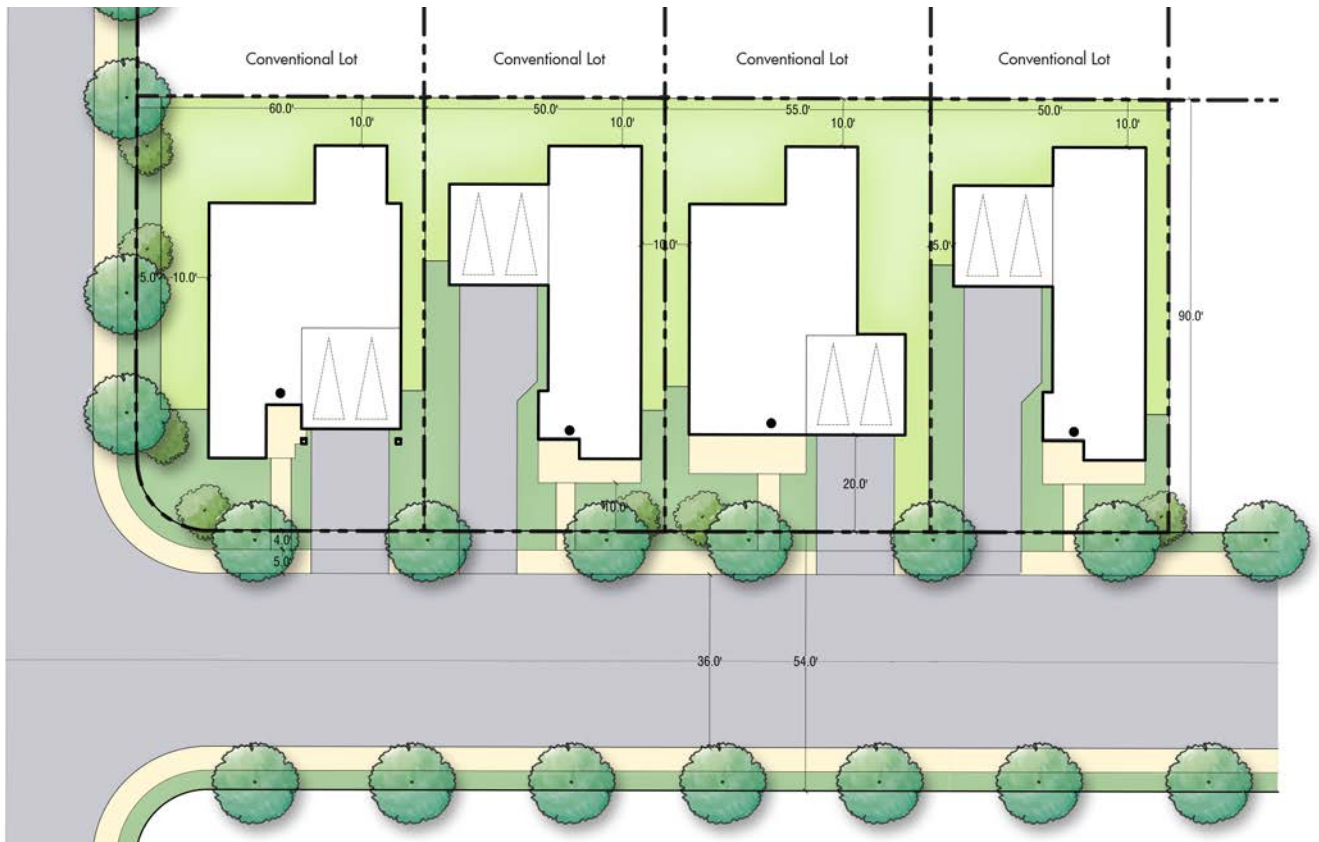


Figure 2.2: Conceptual Conventional Lot Configuration (subject to change, for illustrative purposes only)



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CHAPTER 3 Infrastructure

3.1 Regional Transportation Services

To access the greater Southern California region, Claremont residents can use automobile or public transit. Running along the northern end of the City is the 210 Freeway. This runs east and west, with access to San Bernardino to the east, and the San Gabriel Valley to the west. Along the most southern border of the City runs the 10 freeway. This also runs east and west and can be used to travel east to San Bernardino and beyond, while downtown Los Angeles can be accessed when traveling west.

The Metrolink connects Claremont to the greater Southern California region by train. The San Bernardino Line currently connects San Bernardino to LA Union Station, Claremont is one of the stops on this route. The Claremont Metrolink Station is located at Indian Hill Boulevard and 1st. Street.

Foothill Transit provides bus service through Claremont, It is a component of the METRO system, the region's integrated transportation system. Residents have access to transit with bus stops located only 0.5 miles from the subject property. These bus lines traverse Baseline Road to points outside the City. The Pomona Valley Transportation Authority provides van service for the disabled and residents over 60 years old who need transportation to shopping centers, medical appointments and similar trips.

3.2 Circulation Plan

The community is accessed from Forbes Avenue. There is one point of entry at the southern boundary of the project. Roads within the Specific Plan are privately maintained by the Homeowners Association (HOA), but ungated and accessible to the public, similar to the surrounding neighborhoods. Public parking is available through a public easement, insuring community wide access.

Forbes Avenue

For the segment of Forbes Avenue where homes orient toward the street, improvements shall be made on the west side of the right-of-way to accommodate the homes, driveways, and curb cuts. Forbes Avenue will have curb adjacent sidewalks with landscape opportunities between the sidewalks and the homes. Shade trees shall be planted along the street. Forbes Avenue will continue to operate as a public street, maintained by the City.

Local Streets

The internal streets shall be privately maintained but publicly accessible. These local streets are compliant with the Local Street designation in the General Plan and include street trees and sidewalks for pedestrian accessibility.

Refer to Figure 3.1: Local Street Section for an example of a street within the Specific Plan boundary.

3.2.1 On-Street Parking

The streets within the Specific Plan are privately maintained, but accessible to the public and wide enough for on-street parking. Public on-street parking shall be provided on all streets within the Specific Plan boundary.

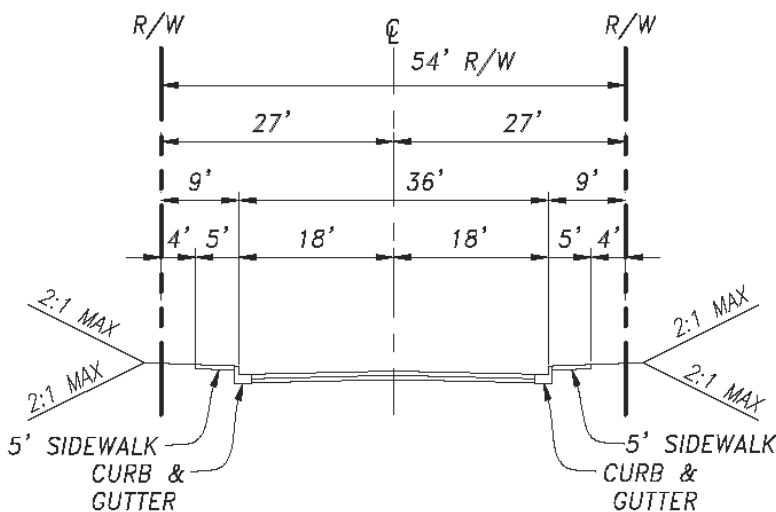


Figure 3.1: Local Street Section

3.3 Grading

The site generally slopes from northeast to southwest ranging in elevations from approximately 1,490 feet above sea level at the northeast corner to 1,460 feet above sea level at the southwest corner. There are several retaining walls throughout the site.

3.4 Drainage

The site drains from the northeast to the southwest. Drainage flows into an improved concrete channel that is existing on site. Drainage occurs through the site's southern boundary. The low flows are directed through the streets to an underground vault located at the southwest corner (adjacent to the park) for which a dry well is installed for infiltration. Drainage flows from the drywell out to an existing parkway culvert located at North Indian Hill Boulevard.

The City of Claremont is subject to the requirements of the Los Angeles County Municipal Storm Water (Municipal NPDES Permit) Order No. R4-2012-0175, the project complies with this order. In addition, the project complies with the City's Development Planning/ Low Impact Development (LID) program to control pollutants from new development. The drainage system meets the County of Los Angeles' requirements for Water Quality with a project specific Water Quality Management Plan (WQMP) to be approved by the City of Claremont. The proposed mainline storm drain system is maintained by the HOA.

3.5 Public Services

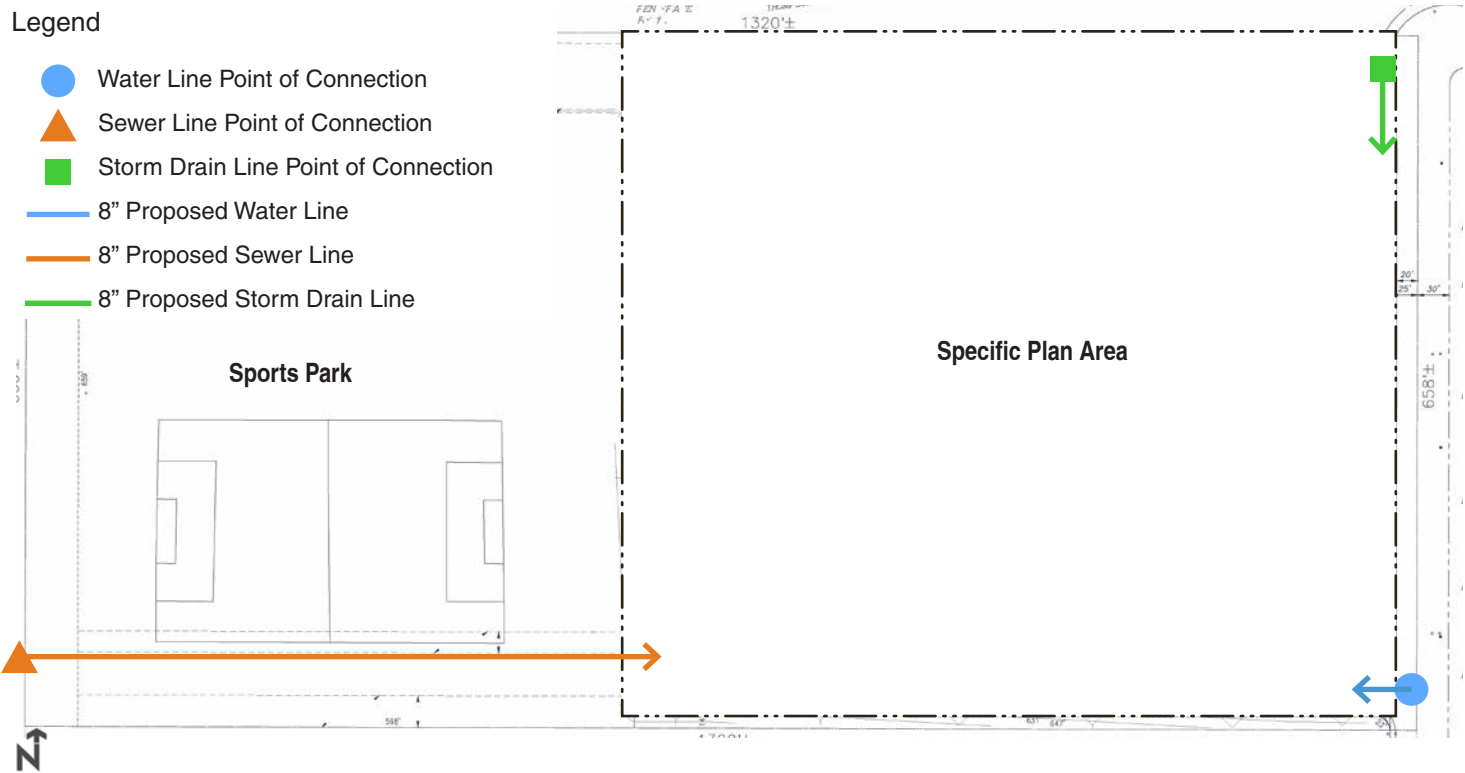
3.5.1 Water

Water for this site is supplied by the Golden State Water Company. 8” water lines run throughout the site and connect into an existing 12” water line located at Forbes Avenue and Armstrong. All improvements occur on site and no off-site improvements are anticipated.

3.5.2 Sanitary Sewer

The proposed sanitary sewer system is located within the internal road system throughout the site. Sewer lines are 8” and connect to an existing 8” main located in North Indian Hill Boulevard. Although the project’s sewer line connects into North Indian Hill Boulevard, there is an existing 12” main in Forbes Avenue.

Refer to Figure 3.4: Utilities Plan.



3.5.3 Solid Waste Disposal

It is the responsibility of each homeowner to start service for solid waste collection. Each home shall be provided with enough space within their private yards to store individual trash and recycling bins. On a designated day, the City's Community Services Department collects solid waste and take it to their disposal facilities.

3.5.4 Utilities

Southern California Edison (SCE) is the electric utility provider in the area. There are existing overhead poles on the east side of Forbes Avenue, those will remain. All utilities within the proposed project shall be underground with the exception of transformers and pedestals.

The gas provider for this area is Southern California Gas Company, connections are made from Forbes Avenue.

Cable, telephone and internet services within the City are provided by Frontier and/or Spectrum.

All service providers are granted an easement to access and maintain utility infrastructure within the community. All easements are non-exclusive; this opens up the opportunity for other service providers to serve the site in the future. Increased competition between service providers may result in cost savings to the end user.

All on-site dry utilities are provided through underground infrastructure except the above ground transformers and pedestals.

3.5.5 Emergency Services

The site is served by the City of Claremont Police Department.

Fire services are provided by the Los Angeles County Fire Department. The closest Fire Station to the project is Station 62. It is located at 3701 North Mills Avenue and is approximately 1.2 miles away.

3.5.6 Schools

The site is located in the Claremont Unified School District. Students who attend public school will do so in this district.



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CHAPTER 4 Design Guidelines

4.1 Design Philosophy and Framework

The design guidelines provide the design framework for streetscape, landscape and buildings to convey a unified and unique community character. They establish a direction to ensure a high-quality and aesthetically cohesive environment. While these guidelines establish the quality of the architectural and landscape development for the La Puerta Specific Plan, they are not intended to prevent alternative designs and/or concepts that are compatible with the overall project theme. As a flexible document, the guidelines can accommodate changes in lifestyles, consumer preferences, economic conditions, community designs and the marketplace, as necessary.

The architectural and landscape guidelines complement each other. Together they combine to form a distinctive plan offering a high quality environment and a unique community identity.

The following principles guide the architecture to ensure quality implementation:

- Use architectural elements and details that reinforce the architectural styles.
- Choose appropriate massing, roof forms, colors and materials to define the architectural styles.
- Ensure that plans and styles provide a degree of individual identity while being compatible.
- Provide a varied and interesting street-scene.

4.2 Standards Versus Guidelines

This document includes “standards” and “guidelines,” which differ as follows:

Residential Design Standards are mandatory requirements that shall be implemented in addition to the development standards in the Claremont Municipal Code (CMC). Residential standards are coded with “RDS.”

General Design Guidelines are more generalized statements, alternatives, or illustrations of what is expected and encouraged. Design guidelines offer ways to meet certain development standards. The degree to which the design guidelines are met is subject to a finding or determination made by the City. General design guidelines are coded with “GDG.”

4.3 Community Character

The setting for the La Puerta project provides a unique opportunity to create a cohesive community character. Such character is implemented by carefully integrating the architecture, natural features, and landscape into the community design. The Specific Plan design elements draw from these assets and is founded upon the historical aspects of the City and tree-lined streetscapes. Architectural elevations are inspired by the picturesque homes found in Claremont.

4.4 Neighborhood Organization

The La Puerta community borrows from the classic design elements found in Claremont’s finest neighborhoods. The diversity of these features also complements the surrounding neighborhoods. The following methods shall be implemented to achieve this design goal:

- Provide pedestrian connectivity through the neighborhood.
- Orient homes towards Forbes Avenue so as to fuse this new enclave with the existing neighborhood.
- Provide architecture that minimizes the garage and pushes the living space forward, maximizing the elevation aesthetic.
- All primary homes shall have private outdoor living space (yards, courtyards, and/or porches are encouraged).

4.5 Streetscape Design (RDS)

- Orient homes toward the street with clearly defined entries facing the street.
- Provide a direct pedestrian path between the home and the sidewalk.
- Create meaningful front porches of at least 6 feet deep, when provided.
- Low courtyard walls, fences, or living fences (hedges) shall be a maximum of 36 inches in height on the front or side yards closest to the street.
 - The shall visually complement the materials and colors used in the structure's facade.
- Provide lighting that is functional; fixtures shall shine the least obtrusive amount of light but be bright enough for people to perform activities.
- Provide lighting to illuminate building address numbers, landscape, and structures at night.

4.6 Corner Lots (GDG)

Corner lots have high visibility and are important to the design quality of La Puerta. Corner lots are unique lots in the project, as they accommodate garage access on one side of the corner and the front door on the other corner. This lot configuration also allows for enhanced architectural elevations, truly providing movement and massing changes along the street sides. Corner lots shall:

- Use one-story elements on the visible sides, where possible.
- Provide the same level of architecture as the front elevation in both detail and articulation
- Create a discernible massing offset of at least 2 feet at visible edges.



One story elements

4.7 Building Form and Massing (GDG)

Residential buildings shall be broken down into smaller components to reduce the appearance of one singular mass through a variety of architectural techniques and treatments such as:

- Varied roof forms, pitches, and heights.
- Changes in materials and color.
- Clearly defined entry feature such as a porch or architectural feature above the front door.

4.7.1 Varied Setbacks and Massing

In order to ensure visual interest and charm throughout the streetscene, homes are required to provide a staggered array of massing along the street. The techniques used shall vary depending on plan type but the staggering is achieved without sacrificing backyard area. These methods may include:

- Massing setbacks at the second story
- Varying ground floor setbacks.
- Provide porch or low-wall courtyard features to give wall plane variation.



Clearly Defined Entry Example



Varied Setbacks and Massing

- Where feasible, massing should accentuate the entry and minimize garage prominence.
- Variation in wall planes, such as projecting and recessing elements, should occur on all sides of the house visible from the public street.
- The second story of a house should be designed in such a way as to reduce the appearance of the overall scale of the building.
- Varying roof forms/changes in roof plane should be used on building elevations.
- Where applicable to the architectural style, roof eaves should extend a minimum of 12 inches from the primary wall surface.

4.7.2 Garages

Garage doors are an important architectural feature of building form and massing. Thus, the aesthetic of the garage doors are of high design importance and shall be compatible and enhance the home's architectural style. The following are recommendations to enhance the streetscene incorporating garage doors as a design feature:

- Design garage door patterns consistent with the style of the home.
- Provide different style door patterns for each architectural style.
- Garage doors should be recessed a minimum of 4 inches from the face of the garage where appropriate to the architectural style.
- Decorative panels and/or windows should be incorporated in garage doors.
- If style permits, consider a color other than white for visual impact.

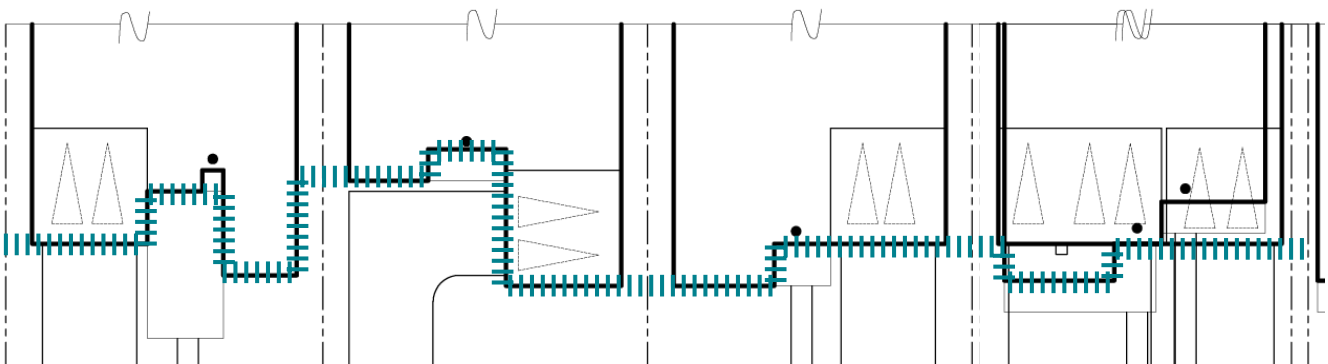


Figure 4.1: Example of Staggered Front Yards and Varied Garage Configurations/Locations

4.8 Architecture (GDG)

Architecture is a key visual component of the project. These design guidelines provide general design criteria and guidance with the goal of promoting visual compatibility while allowing for individuality and architectural diversity.

4.8.1 Definitions of Terms

Architectural Features: Cornices, eaves, belt courses, cantilevered bay windows, fireplace masonry, and similar architectural features that do not increase interior floor area of a structure. Such architectural features may encroach into required setbacks per Table 2.1: Development Regulations.

Minor Structures and Equipment: Trash enclosures, dog houses and other minor structures with less than 120 square feet of floor area, or air conditioners, pool filters and other equipment may be located within any interior side or rear setback area, but not within any front or street-side setback area. Such minor structures shall be screened from view from adjacent properties and no part of such minor structure or equipment shall exceed eight feet in vertical height. All mechanical equipment shall meet the noise limitations of Chapter 16.154.

4.9 Materials & Finishes (GDG)

Specific materials are identified for each architectural style. The chosen materials shall represent the specific architectural style enhancing the community aesthetic.

- Place lighter materials above heavier materials;
- Use complementary building materials that promote a harmonious appearance and provide interest and variety consistent with the architectural styles; and
- Where possible, use style-appropriate concrete roof tile blends; prohibit overly dramatic blends with extreme contrast.

Material finishes should express permanence and quality.

- Create a more solid and permanent appearance with stone or other masonry materials, particularly as accents;
- Install masonry using traditional methods;
- Avoid frequent changes in materials;
- Detail finishes properly with the architectural style; and
- Use high-quality, durable, low-maintenance materials.

4.9.1 Stucco

Stucco finishes should project high quality and be appropriate to the architectural style. Heavy Lace and Spanish Texture stucco finishes are prohibited, at minimum stucco shall be 16/20 courseness.

Stucco Details

All stucco trim details (such as window surrounds, window sills, roof eaves, column details, lintels, etc.) must be constructed with a level of precision and accuracy to express the authentic execution of the style;

- Use clean, crisp and smooth stucco details;
- Use a different trim stucco finish or color from the wall stucco finish;
- No rough, “blob”-like and uneven stucco finish; and
- Carefully locate stucco control joints if applicable on elevation designs.

4.9.2 Veneers

Manufactured stone is required to have texture and color that mimics natural stone and be of exceptional quality. The mortar joint types and colors for each masonry product used will be specified.



Example of material wrapping

A. Stucco Screed Details

The stucco weep screed at stone or brick adhesively applied veneers should be detailed to be as close to finish grade/finish slab as possible while still maintaining the minimum dimensions required by the building code.

Sufficient details, notes and specifications will be provided in the construction documents to ensure proper construction in the field.

B. Material Wrapping

When feasible, materials shall wrap around the corner and extend to a logical terminus point (or minimum 5 feet) that is incorporated into the overall architectural design.

Wrap columns, tower elements and pilasters entirely.

4.9.3 Wood

Wood is a material used in many architectural styles. However, maintenance concerns, a desire for long-term architectural quality and new high-quality manufactured alternative wood materials, make the use of real wood material less desirable. Where “wood” is referred to in this document, it can also be interpreted as simulated wood trim with style-appropriate wood texture.

4.9.4 Ornamental Details

Use details that appear as functional elements and match the architectural style.

4.9.5 Gutters & Downspouts

Integrate gutters and downspouts into the home design when used.

4.9.6 Eave Paint

Eave paint shall match the fascia color (spray paint of the wall color on the eaves is prohibited).

4.10 Windows (GDG)

Window details differentiate architectural styles and can provide a high level of architectural enrichment. The selection and proportion of the windows to the façade shall be responsive to the architectural style of the building. Size and shape shall be considered to assure a balanced relationship with the surrounding roof and walls. Accent shutters are a way to further enhance the architecture and shall be proportionate to the window opening. In general, windows shall enhance rather than dominate the overall architectural character.

- Except in interior side yard conditions, horizontal bathroom windows are prohibited;
- Divided lite or high-quality simulated divided lite windows are encouraged and should reflect the architectural style; and
- Windows should be detailed and high-quality on all sides of the house.
- Windows should be articulated with sills, kickers, shutters, or awnings that are authentic to the architectural style of the house.
- Primary upper and lower windows should stack vertically for organization of facade, whenever possible and if functional for the interior living space.
- To enhance privacy, windows on side elevations should be staggered whenever possible so as not to be positioned directly opposite of the windows in the adjacent structure.
- Feature windows shall be recessed a minimum of 4 inches from the wall plane.

4.10.1 Shutters

All shutters shall comply with the following:

- Mount shutters on finished wall material, embedded shutters prohibited;
- Match shutter size to the recessed opening window width; and
- Use material at least 1.5 inches thick.

4.11 Color (GDG)

The use of color and materials is an essential ingredient to quality development. Successful applications of colors and materials improve the character and essence of the community.

The primary goal of color and materials palettes is to further enhance and define the architectural styles within this document. Equally important is the balance of diversity and harmony; variety of color and materials must be achieved within the context of a harmonious community.

Colors selected should be appropriate to the styles they represent and used to further differentiate from the other styles.

Architectural screens, fences and accessory structures should be compatible in material, color and texture to the main buildings.



Color and material balance and harmony

4.12 Lighting (GDG)

Outdoor light shall be functional but not create light spill. They shall be least obtrusive but provide enough light to perform activities and enhance safety in low-light hours.

Exterior lights shall be located and shielded so as to not impact the adjacent property owners in terms of glare and privacy.

Lighting for homes and landscape is permitted. Exterior residential lighting shall be high-efficacy with a typical carriage light (or style appropriate lighting option) on every house. Bulbs should emit a warm soft color, and not bright white or a blue LED.

Light fixtures shall be consistent with the architectural style of the home.



Soft landscape and building lighting enhances the evening streetscene

4.13 Addresses (GDG)

Addresses must be a minimum of 6 inches high and clearly visible from the nearest emergency vehicle right-of-way.

Residential addresses must be mounted next to a light source and clearly illuminated by lighting during low-light periods.



Visible address signs with adjacent lighting source

4.14 Non Architectural Elements (GDG)

4.14.1 Mechanical Equipment

Mechanical equipment shall be screened from public view. Where feasible, it shall be located in side or rear yards. Mechanical equipment includes:

- HVAC equipment
- Gas and electric meters
- Cable/TV panels
- Exterior landscape/lighting equipment

Mechanical equipment is prohibited in patio/porch areas. When feasible, mechanical equipment shall be placed on the side of the home for minimal public visibility. Other screening methods may include but are not limited to landscaping and/or low walls. Materials and details used for screening shall be the same as those used on the primary residence.

4.14.2 Technology

Homes where fiber optics are available in the street, shall have connectivity to the home. When feasible, technology and infrastructure shall be made available enabling “smarter”, more energy efficient and water “conservative” homes.

4.14.3 Solid Waste

Space shall be provided for the refuse storage bins out of view from the street.



Landscape and color used to minimize visibility of utility meter



Low wall and shubbery to screen waste bins

4.15 Architectural Styles (GDG)

These design guidelines are intended to be followed to a high degree, although some flexibility is inferred. It is not the intent of these design guidelines to require that all of the identified design components and elements be incorporated into the actual building designs. Rather, these guidelines serve as a “palette” of character defining elements that can be used to create authentic and distinct architecture. Additional styles may be proposed however, they must follow the same principles and attention to detail as the specific styles provided. Newly introduced styles must be compatible with the overall La Puerta community aesthetic. The styles listed below were chosen to reflect the heritage of the site. These styles are:

- American Cottage
- California Bungalow
- California Craftsman
- Spanish

Design Principles

Providing a mix of styles minimizes monotony and encourages interest. The multi-style street-scene should be diverse as to architectural styles, features, windows, front doors, garage doors, materials and colors.

Authentic Adaptations

Recognizable authentic architecture is based on traditional forms, materials and details that reasonably express the heritage of a particular style. Historically derived, or authentically adapted elevations continue to focus on forms and details, but allow for the integration of modern materials, colors and artistic interpretation to generate a contemporary, yet recognizable expression of an architectural style. Historically adapted elevations combine these notions into physical reinterpretation of an architectural style.

Authentic adapted elevations should primarily express a recognizable architectural style, with minor alterations to incorporate new, modern or progressive forms, details and materials in the modern context of architecture.



4.15.1 American Cottage

American Traditional is a style evolved in the early 20th century originating from the New England states, spreading westward, and becoming established throughout the rest of the country.

The adaptive version of this style, American Cottage, retains the massing and form that is reminiscent of early American heritage but with simpler lines and contemporary details. The massing breaks down the façade from 2 to 1-story forms providing a natural balance to the front elevation. Roofs are simple in form most often with accent gables. This contemporized American style has a fresh appeal while retaining its charming origins.



(Illustrative Only)

Elements	Style Characteristics (not all have to be incorporated)
Roof Components	4:12 roof pitch 12" to 18" overhangs Front to back gables, intersecting gable roofs also permitted
Roof Materials	Concrete roof tile - flat or shake appearance
Wall Materials	Medium sand float stucco finish (16/20 minimum) Horizontal siding - may be combined with stucco
Wall Colors	Whites, off-white, dark or light colors
Trim & Details	Simplified cornice trim at gable ends Window trim on upper and lower sides of window Surface mounted fixtures on front elevations must complement architectural style Square wood columns with trim Shutters, brick accents permitted Window trim a minimum of three inches width and one inch in depth
Trim Colors	White or contrasting with field color
Windows	Vertical divided lite window at front elevations Divided lite windows on side and rear elevations at visible edges
Doors & Gates	Porches and/or balconies with vertical railing Front and garage door patterns to complement style
Accent Colors	Light or dark colors in contrast or harmony with field colors

4.15.2 California Bungalow

The Bungalow style is a derivative of the American Craftsman style. California was first introduced to the Bungalow style at the turn of the twentieth century, they were particularly popular in Southern California. Bungalows became popular in suburban neighborhoods all throughout California and nationwide.

Bungalows often exhibit horizontal lines, ample porches, and lower pitched gable roofs. Common exterior materials included shingles for the roof, and siding and stucco on the walls. Typically, ornamentation is sparse, but wood, brick or stone accents embellish the elevations. Current design techniques include veneers and simulated wood materials as they are more durable.



(Illustrative Only)

Elements	Style Characteristics (not all have to be incorporated)
Roof Components	4:12 to 6:12 roof pitch
	16" to 24" overhangs
	Basic gabled roof - side to side with cross gables
Roof Materials	Flat concrete tile - shingle appearance
Wall Materials	Medium sand float stucco finish (16/20 minimum)
Wall Colors	Light to dark earth tone
Trim & Details	Entry porches with heavy square columns
	Trim at windows and doors
	Gable end outlookers
	Surface mounted fixtures on front elevations must complement architectural style
	Open eave overhangs
	Window trim a minimum of three inches width and one inch in depth
Trim Colors	Light to dark earth tones in harmony or contrasting with field
Windows	Vertically proportioned windows with divided lites
Doors & Gates	Front and garage door patterns to complement style
Accent Colors	Clear to muted blues, greens, rust, and burgundy in medium to dark value range or dark browns

4.15.3 California Craftsman

The Craftsman style was inspired by the English Arts and Crafts Movement of the late 19th century. Of the utmost importance was that all exterior and interior elements received both tasteful and “artful” attention. The movement influenced numerous California architects such as Greene and Greene, and Bernard Maybeck.

The resulting Craftsman style responded with extensive built-in elements and by treating details such as windows or ceilings as if they were furniture. The style was further characterized by the rustic texture of building materials, broad overhangs with exposed rafter tails at the eaves and trellises over the porches. The overall affect was the creation of a natural, warm and livable home. In Southern California, the Craftsman style spun out of bungalows that were the production home of the time.



(Illustrative Only)

Elements	Style Characteristics (not all have to be incorporated)
Roof Components	4:12 to 6:12 roof pitch 12" to 24" overhangs Basic gabled roof - side to side with cross gables
Roof Materials	Flat concrete tile - shingle appearance
Wall Materials	Horizontal siding - may be combined with stucco Stone base accents on walls and/or porch
Wall Colors	Light to dark earth tone
Trim & Details	Entry porches with heavy square columns or posts on stone or brick piers Trim at windows and doors Simple knee brace at gable ends Surface mounted fixtures on front elevations must complement architectural style Stone and brick base accents Open eave overhangs with shaped roof rafter tails Window trim a minimum of three inches width and one inch in depth
Trim Colors	Light to dark earth tones in harmony or contrasting with field
Windows	Vertically proportioned windows with divided lites
Doors & Gates	Front and garage door patterns to complement style
Accent Colors	Clear to muted blues, greens, rust, and burgundy in medium to dark value range or dark browns

4.15.4 Spanish

The Spanish style attained wide-spread popularity after the Panama-California exposition of 1914 in San Diego. The Spanish style's most notable characteristics include the use of "S" or barrel tile roofs, stucco walls, feature entry doors, and porticos, highlighted ornamental iron work and carefully proportioned windows appropriate to its wall mass.

Key features of this style were adapted to the California lifestyle. Plans were informally organized around a courtyard with the front elevation very simply articulated and detailed. The charm of this style lies in the directness, adaptability, and contrast of materials and textures.



(Illustrative Only)

Elements	Style Characteristics (not all have to be incorporated)
Roof Components	Hip or gable roofs
	Roof pitches 3½:12 to 5:12
	Rafter tails, shaped tails preferred
	Parapets with barrel tile caps
Roof Materials	Concrete “S” tile
Wall Materials	Medium sand float stucco finish (16/20 minimum)
	Decorative ceramic tile or brick accents
Wall Colors	Toned whites and light to medium light value warm colors
Trim & Details	Trim at windows and doors
	Closed or exposed eaves
	Gable end details
	Decorative metal
	Style appropriate entry light and garage door fixtures
	Window trim a minimum of three inches in width and one inch in depth. In lieu of exterior window trim, windows may be recessed from a wall plane by a minimum of four inches.
Trim Colors	Medium dark value browns reminiscent of stained wood
Windows	Vertically proportioned windows with simple divided lites or windows without divided lites
Doors & Gates	Front and garage door patterns to complement style
	Recessed front entry doors
	Rectangular or arched surrounds (following door design)
Accent Colors	Clear to muted blues, greens, rust, and burgundy in medium to dark value range or dark browns

4.16 Landscape Concept (GDG)

The landscape concept seeks to unify this new project with the existing landscape character of Claremont. With trees being an important natural element in the City, the La Puerta project carries on this tradition with the planting of streets trees, some of which are mature size at installation. Drawing from the heritage of the area, the landscape elements enhance this new residential neighborhood through the use of native and naturalized plant materials. This heritage theme sense carries through from the drought-tolerant and indigenous plants to the hardscape features including decorative walls, signs and monuments.

A detailed planting palette has been carefully selected for the project. The primary goal is to incorporate species that are already well established in Claremont, including a variety of traditional trees and shrubs historically found in the area. Plant selection factors include compatibility with local soils, the micro and macroclimates throughout the site, the plant's ability to merge into the existing natural environment and drought tolerance. For an overview of the landscape palette, refer to Table 4-1.

The following principles set the design direction of landscaped spaces in the Specific Plan area.

- In accordance with Chapter 16.131 of the Claremont Municipal Code, low-water use plant materials should be selected to limit irrigation needs and minimize water use.
- Mediterranean and other local, climate-friendly plants may be used alongside native species.
- Canopy trees should be provided for shade and enhance building energy efficiency, especially adjacent to south and southwest facing building facades.

4.16.1 Street Tree Guidelines:

- Each residence receives: (1) tree in the front and an additional (2) or more trees for corner lot conditions or larger sized lots.
- Street trees are generally located on the larger and wider side of the lot.
- No trees shall be planted within 5 feet of a homeowners property line.
- Minimum 24" box size required for street trees.
- Side yard trees within 5 feet of paving and walls require approved root barriers.
- Trees located within parkways must be a small canopy tree that is appropriate for narrow planting areas, unless the sidewalk is constructed of permeable pavers with engineered soil.

4.17 Landscape & Lighting (GDG)

Landscape

The landscape plan shall provide a variety, texture and color to blend with the natural landscape of Claremont. Water-wise landscape principles shall be utilized in the plant design including a low percentage of water-thirsty plants, smart irrigation controllers, drip irrigation and bark mulch to slow evapotranspiration and weed germination. The following standards shall be complied with:

- Use native planting or compatible species of drought-tolerant plants to reduce water demand.
- Use water efficient irrigation systems.
- No more than 30% of landscape areas shall be covered with turf/lawn grass species.
- The HOA maintains the landscape and irrigation located in the common areas. Private home owners maintain private front, side and rear yard landscape.

Lighting

Outdoor light fixtures shall be designed, installed, and maintained so as to direct light only onto the property on which the light source is located.

- All outdoor lighting fixtures shall have prismatic diffusing lenses and/or appropriate shielding so the light source is not directly visible from the public right-of-way or abutting residential properties.
- No outdoor lighting fixtures for a single-family home or in any Single-Family Residential Districts shall be mounted more than 14' above adjacent grade on any wall or structure except when used to illuminate a second-story entryway, balcony, or outside stairway, in which case the fixture shall not be higher than 8' above the floor of the second story.
- Decorative common area lighting of landscape elements shall be provided in the entry and common area. Lighting meets City of Claremont safety standards and is maintained by the HOA.

4.18 Front Yard Landscape (GDG)

The landscape plan includes a colorful and drought tolerant landscape design along the front yards providing a massing transition to the street. A mix of flowering and evergreen street trees can further enhance the articulated architecture and neighborhood street scene.

Refer to Figures 4.2 - 4.4 for Conceptual Front Yard Landscape Plans.

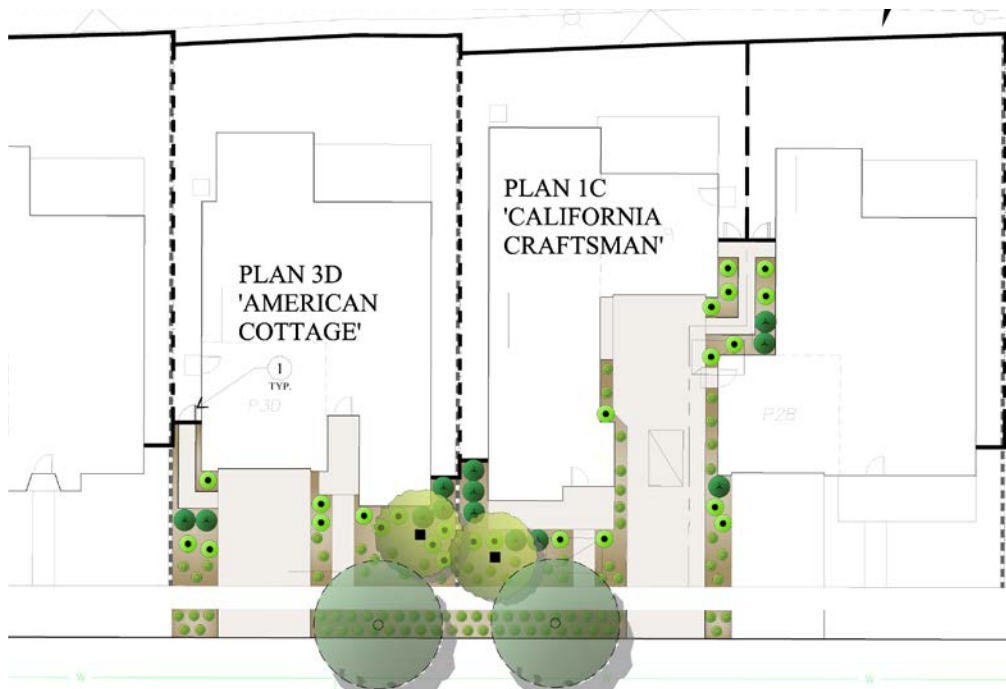


Figure 4.2: Conceptual Front Yard Landscape Diagram - Private Street

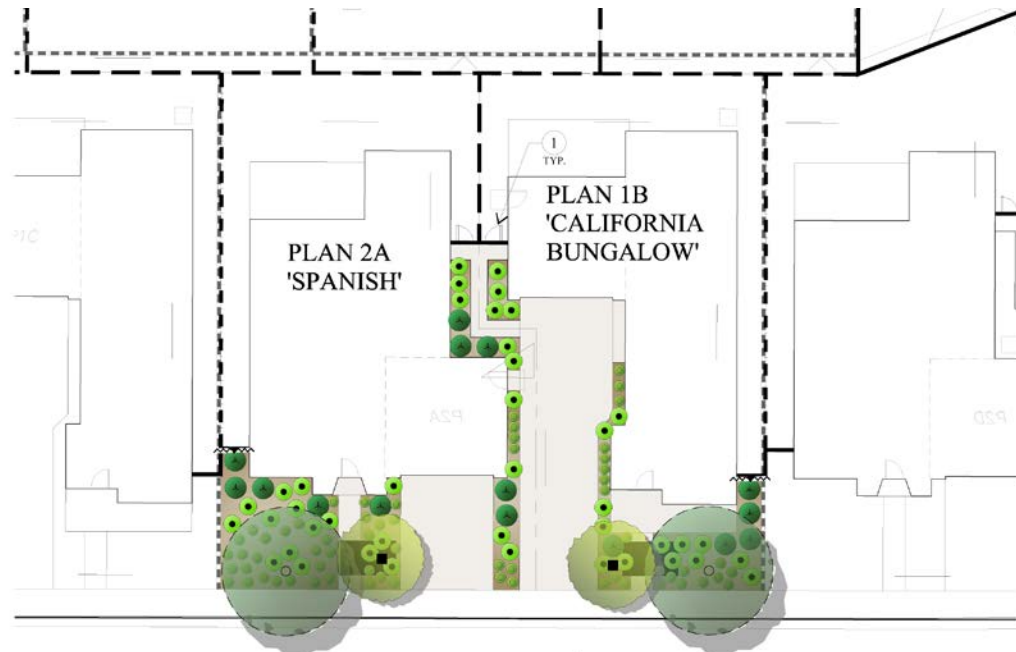


Figure 4.3: Conceptual Front Yard Landscape Diagram - Forbes Avenue



Figure 4.4: Conceptual Front Yard Landscape Diagram - Corner Conditions

4.19 Walls and Fences (RDS)

Where homes back up to the northern property boundary, block wall with block cap shall be installed (Refer to Figure 4.5). Additionally, if at a prominent corner or to break up monotony, pilasters shall be included for articulation (Refer to Figure 4.8).

Fences shall be used for privacy from one neighbor to the next. These fences and walls are consistent with surrounding area conditions that are used between homes and to enclose private yards. These fences may be composite, wood, or simulated wood. Any new wall or fence shall complement the architecture of the home and must be approved by the HOA (Refer to Figure 4.7).

Refer to Figures 4.5 through 4.9 for permitted wall and fence styles.

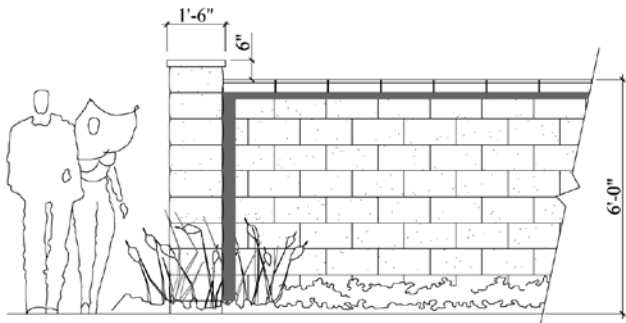


Figure 4.5: CMU Wall

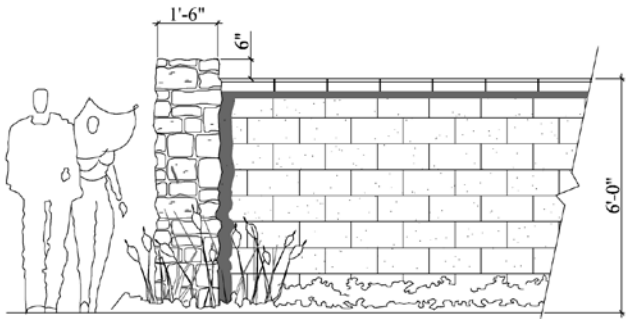


Figure 4.8: Stone Pilaster with CMU Wall

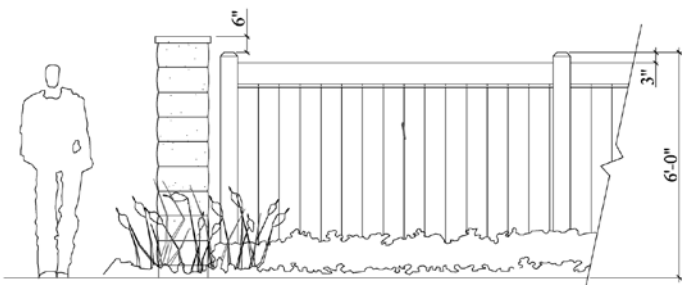


Figure 4.6: CMU Wall with Terminal Fence

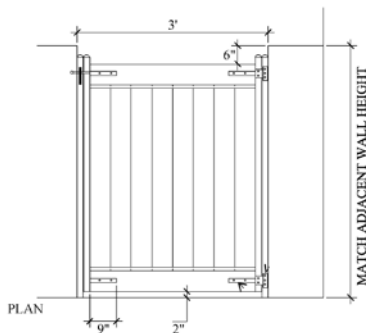


Figure 4.9: Gate

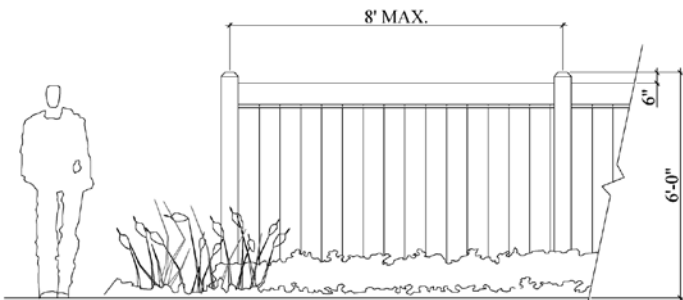


Figure 4.7: CMU Wall with Terminal Fencing

4.19.1 Low Walls

Low walls can be used to delineate private space or denote the entrance into a more private area of a home. Low walls also serve as a visual cue from the public to the private realm. For the La Puerta Specific Plan, low wall design shall be based on the architecture style of the home.

Please refer to Figures 4.10 - 4.12 for examples of permitted low wall styles.

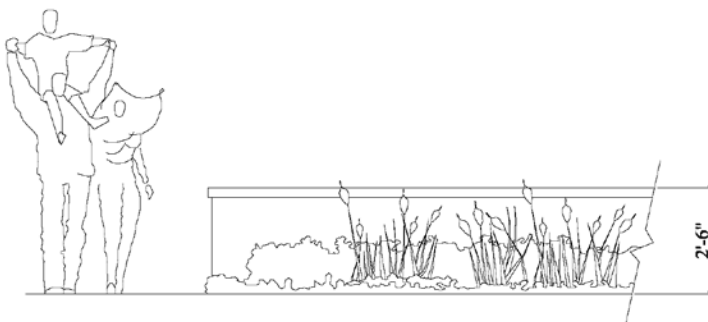


Figure 4.10: Stucco Wall- Spanish Elevation

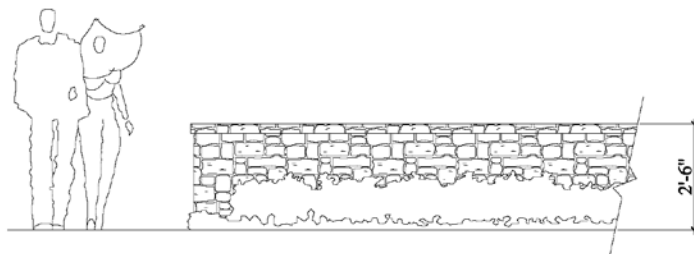


Figure 4.11: Stone Wall - California Craftsman

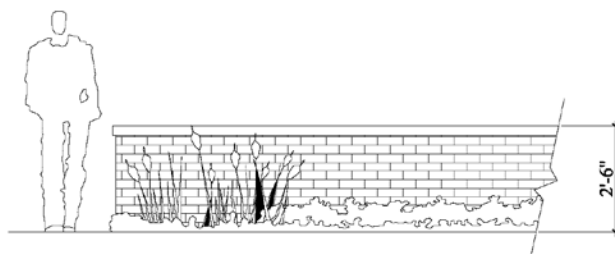


Figure 4.12: Stone Wall - American Cottage

4.20 Community Monumentation (RDS)

Monumentation can help define community character and provide wayfinding. To enhance the character, the monummentation should be reflective of the overall community design theme. For wayfinding purposes,

the monument shall be used to define the entry. Monument signage should consist of masonry such as river rock, stone, or brick

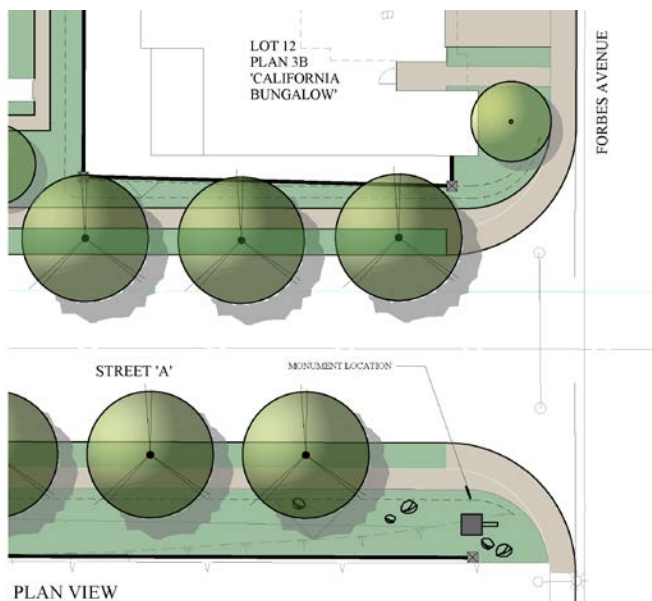


Figure 4.13: Example Monument Location



Figure 4.14: Conceptual Monument Design

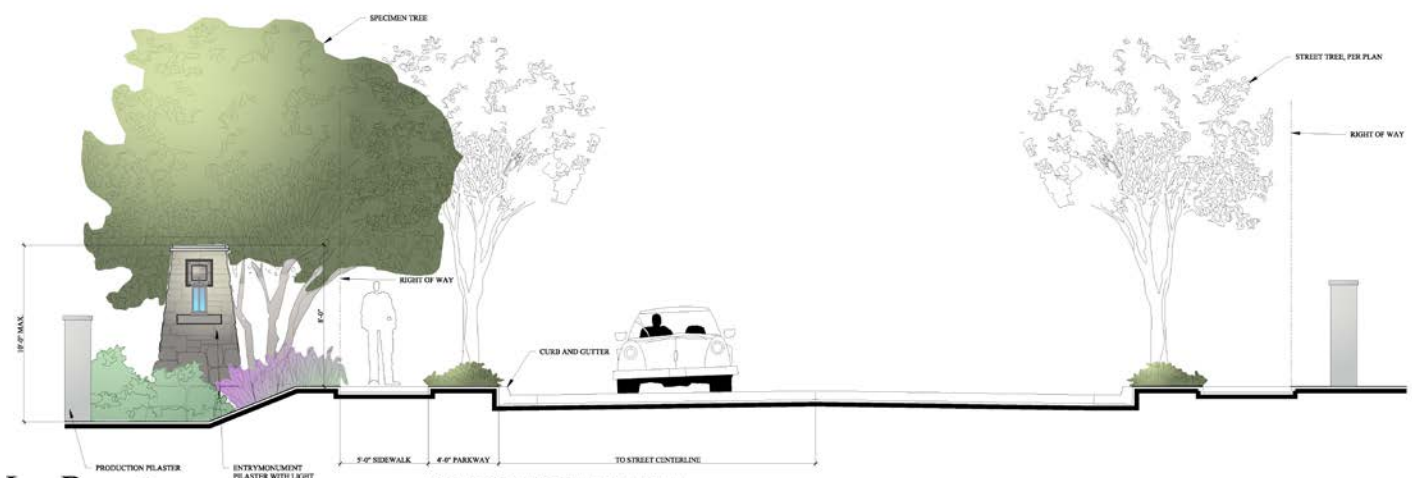


Figure 4.15: Conceptual Entry Monument/Street Section

4.21 Plant Palette (GDG)

The following plant palette has been prepared for the La Puerta Specific Plan. Other plants and trees may be added or used as substitutions as long as the fit with the intent of the Specific Plan goals and aesthetics.

Table 4.1: Plant Palette

Botanical Name	Common Name
Street Trees	
<i>Agonis flexuosa</i>	Peppermint Tree
<i>Albizia julibrissen</i>	Silk Tree
<i>Chitalpa x tashkentensis</i>	Chitalpa
<i>Koelreuteria paniculata</i>	Golden Rain Tree
Trees	
<i>Arbutus 'Marina'</i>	Strawberry Tree
<i>Lagerstroemia Hybrid</i>	Crape Myrtle
<i>Laurus Nobilis</i>	Sweet Bay
<i>Ligustrum Lucidum</i>	Glossy Privet
<i>Magnolia Grandiflora</i>	Southern Magnolia
<i>Olea Europaea</i>	Fruitless Olive
<i>Prunus Caroliniana</i>	Carolina Laurel Cherry
Shrubs	
<i>Agapanthus Spp.</i>	Lily of the Nile
<i>Aloe Spp.</i>	Aloe
<i>Arbutus Unedo</i>	Strawberry Tree
<i>Cistus Spp.</i>	Rockrose
<i>Dianella Sp.</i>	Flax Lily
<i>Dietes Vegeta</i>	Fortnight Lily
<i>Elymus 'Canyon Prince'</i>	Wild Rye
<i>Euonymus 'Microphyllus'</i>	Euonymus
<i>Lavandula 'Goodwin Creek'</i>	Lavender
<i>Lavatera Maritima</i>	Tree Mallow
<i>Ligustrum Japonicum</i>	Privet
<i>Liriope Muscari</i>	Lily Turf
<i>Loropetalum Chinese</i>	Loropetalum
<i>Muhlenbergia Rigens</i>	Deer Grass
<i>Pittosporum Tobira</i>	Mock Orange
<i>Prunus C. 'Bright N' Tight</i>	Carolina Laurel Cherry

Table 4.1: Plant Palette

Botanical Name	Common Name
Shrubs (continued)	
<i>Rhaphiolepis Ovata</i>	Yeddo Hawthorn
<i>Rosmarinus Officinalis</i>	Rosemary
<i>Salvia Spp.</i>	Sage
<i>Sesleria</i>	Autumn Moor Grass
<i>Viburnum Tinus</i>	Laurustinus
<i>Westringia 'Wynyabbie Gem'</i>	Coast Rosemary
Ground Cover	
<i>Baccharis p. 'Twin Peaks II'</i>	Dwarf Coyote Brush
<i>Festuca Ovina Glauca</i>	Sheep Fescue
<i>Myoporum p. 'Pink'</i>	Creeping Myoporum
<i>Rosmarinus o. 'prostratus'</i>	Prostrate Rosemary
<i>Trachelospermum Jasminiodes</i>	Jasmine
Vines	
<i>Clematis Armandii</i>	Clematis
<i>Hardenbergia Violacea</i>	Lilac Vine
<i>Rosa 'Alba Plena'</i>	Landy Banks Rose



CHAPTER 5 Implementation & Administration

5.1 Financing and Maintenance of Improvements

The financing and maintenance plan for the La Puerta Specific Plan ensures the timely completion of homes, utilities, and other necessary improvements as well as the proper maintenance of these facilities.

Upon acquisition of permits, it is the responsibility of the developer to pay for all improvements associated with this Specific Plan and all other approvals related with this Plan as described in Table 5.1: Financing and Maintenance Plan.

5.1.1 HOA Protection of Home Value

The developer establishes a HOA to protect, maintain, and enhance this community for perpetuity. The HOA manages the long-term maintenance of items on site not maintained by the City. The City will have an easement over the internal circulation system for access and maintenance of facilities that are

maintained by the City. The City easement is utilized for emergency services and solid waste collection.

The HOA maintains the on-site storm drain, lighting, landscape and irrigation systems located on the common lots.

Private areas to be maintained by the Homeowner include the front yards and the areas located behind fences and walls. Any revisions to front yard landscaping must be approved by the HOA.

Table 5.1: Financing and Maintenance Plan indicates the parties responsible for construction, financing, and maintaining the public improvements proposed by the Specific Plan.

Table 5.1: Financing and Maintenance Plan

Service or Facility	Party(ies) Executing Construction	Party(ies) Financing Construction	Party(ies) Responsible for Operation and Maintenance
Sewer Facilities	Developer	Developer	City of Claremont
Storm Drainage	Developer	Developer	City of Claremont
On-Site Water	Developer	Developer	Golden State Water Company
Private Street	Developer	Developer	Homeowners Association
Residential Streetscape	Developer	Developer	Homeowners Association
Common Area and Landscape Improvements	Developer	Developer	Homeowners Association
Front Yards	Developer	Developer	Homeowner
Private Yard Improvements	Homeowner	Homeowner	Homeowner

5.2 Construction Phasing

All infrastructure within the project boundary is installed in one phase. These improvements include rough grading, storm drain, water, wastewater, dry utilities, and street improvements.

Home construction begins with the models and then proceeds with the first phase of homes. Depending on market demands, the remainder of the homes will not be built until there are buyers for the initial phase.

5.3 Specific Plan Minor Modifications

Minor modifications or technical adjustments that are deemed to be in substantial conformance with the purpose and intent of the Specific Plan and are not detrimental to the public health, safety, and welfare may be approved by the Director of Community Development. Such minor modifications or technical adjustments may include, but are not limited to, the items identified below:

1. Slight modifications to the Specific Plan that respond to more accurate or recent data or actual on-site conditions, but which do not result in an increase in environmental impacts already assessed in the EIR for the Specific Plan.
2. Adjustments to horizontal and vertical roadway alignments to respond to actual ground conditions.
3. Adjustments to the alignment, location and sizing of utilities and facilities or a change in utility and/or public service provider may be approved by the City Engineer.
4. Minor changes to the design of the roadway cross sections, provided that the streets have adequate capacity to handle the anticipated volumes of traffic and the design changes are deemed acceptable by the City Engineer.
5. Minor modifications to the architectural or landscape design guidelines necessary to respond to actual site conditions, community expectations and preferences, provided such modifications are in substantial conformance with the design criteria specified in the Specific Plan.
6. Minor modifications to the grading plan as approved by the City Engineer.
7. Any modifications to the phasing plan if the related infrastructure is adequately in place.
8. Addition of new information or data to the Specific Plan maps, exhibits and/or text which does not change the effect of any concepts or regulations.
9. Minor modifications to parcel lines that are necessary to respond to actual site conditions or unique engineering concerns, and which do not substantially change the overall site plan concept.
10. Increases or decreases in lot sizes, so long as any change meets the minimum lot size requirements of the Project.
11. Minor adjustment to any of the development standards or regulations that are allowed under Development Regulations of the Project.

5.4 Specific Plan Amendments

Any amendments which are not “minor” per Section 5.3 shall be processed pursuant to Government Code §65453 and the CMC Chapter 16.318.

5.5 Future Additions or Alterations of Homes

Any post-occupancy alteration to a home shall be approved by the HOA prior to submittal to the City of Claremont’s Community Development Department including any change to the exterior facade, color or materials.

The Director of Community Development may review and approve the alteration if it can be determined that the alteration meets the intent of the La Puerta Specific Plan.