



*La Puerta*

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SCHOOL SITE

SPECIFIC PLAN | SEPTEMBER 2024



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# CHAPTER 1 Introduction

## 1.1 Purpose

The purpose of the La Puerta School Site Specific Plan is to implement the City of Claremont objectives and policies by providing development regulations, design guidelines and implementation mechanisms for future development of this subject property.

The design concept for the La Puerta School Site (“La Puerta”) Specific Plan is to create a neighborhood of single family detached homes, tree lined streets, and architecture-forward residential design reminiscent of Claremont neighborhoods like the Historic Village. For more information on the vision, refer to Section 4.2: Community Character.

The Specific Plan is a comprehensive guide to defining the development and use of the Specific Plan Area (“SPA”). This Specific Plan describes the permitted land use and infrastructure requirements which will be processed through the City of Claremont.

The Design Standards and Guidelines and Development Regulations contained in this document will assist in creating a building and landscape character that is pleasing to look at, functional, and encourages pleasant Claremont living.

The La Puerta Specific Plan serves the following purposes:

- Promotes quality development consistent with the goals and policies of the Claremont General Plan.
- Establishes development criteria and standards that guide and regulate future development in the Specific Plan Area.
- Provides for the creation of a walkable enclave that accommodates residential development.
- Provides a set of development regulations and guidelines to establish a visually pleasing, pedestrian friendly, single-family residential community.

## 1.2 Specific Plan Document Organization

The Specific Plan is arranged into five chapters as follows:

### *Chapter 1 Introduction*

This chapter provides the purpose and intent of the Specific Plan, development overview, site location, and a summary of the existing conditions affecting the Specific Plan area.

### *Chapter 2 Land Use Regulations*

This chapter presents the Land Use Plan, specifies the permitted and conditionally permitted uses, and provides development regulations.

### *Chapter 3 Infrastructure*

This chapter describes circulation, utilities, emergency services, and school provisions.

### *Chapter 4 Design Standards and Guidelines*

The Design Standards and Guidelines discuss requirements and design directions to successfully implement the community vision and character through site design and architecture inspired by Claremont historic neighborhoods.

### *Chapter 5 Implementation & Administration*

Provisions for financing/maintenance of improvements, the process for implementation, and procedures for amending this Specific Plan.

#### 1.2.1 Regulations Versus Guidelines

This document includes “regulations” and “guidelines,” which differ as follows:

Development Regulations are mandatory requirements that shall be implemented in addition to the development standards in the Claremont Municipal Code (CMC). Development Regulations are located in Chapter 2. Anything not addressed in this Specific Plan reverts to the provision of the Zoning Code for the RS Single-Family District.

Design Standards and Guidelines for development within the Specific Plan are provided in Chapter 4 of this Specific Plan.



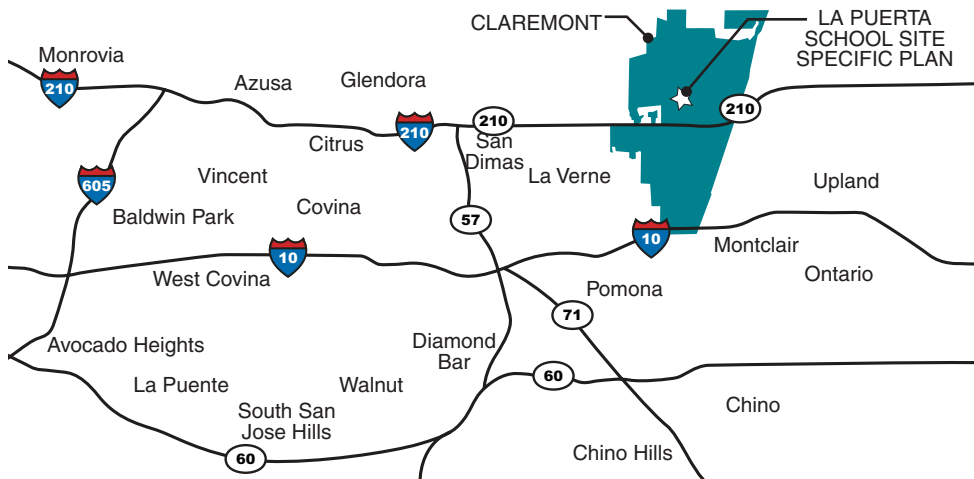


Figure 1.1: Regional Context

### 1.3 Site Location

The City of Claremont is conveniently located along two major freeways that provide access to all of Southern California: SR-210 and the San Bernardino Freeway (I-10). Claremont is served by public rail and bus transit lines that provide residents and employees with alternative ways for traveling to work, shopping, and home. Refer to Figure 1.1: Regional Context and Figure 1.2: Project Location.

The La Puerta Specific Plan is located in the City of Claremont at the foot of the San Gabriel Mountains, east of Los Angeles. The property is bounded on the north by homes and the Thompson Creek Trail, on the east by Forbes Avenue, on the south by residential and on the west by La Puerta Sports Park. Refer to Figure 1.4: Existing Conditions (2020).

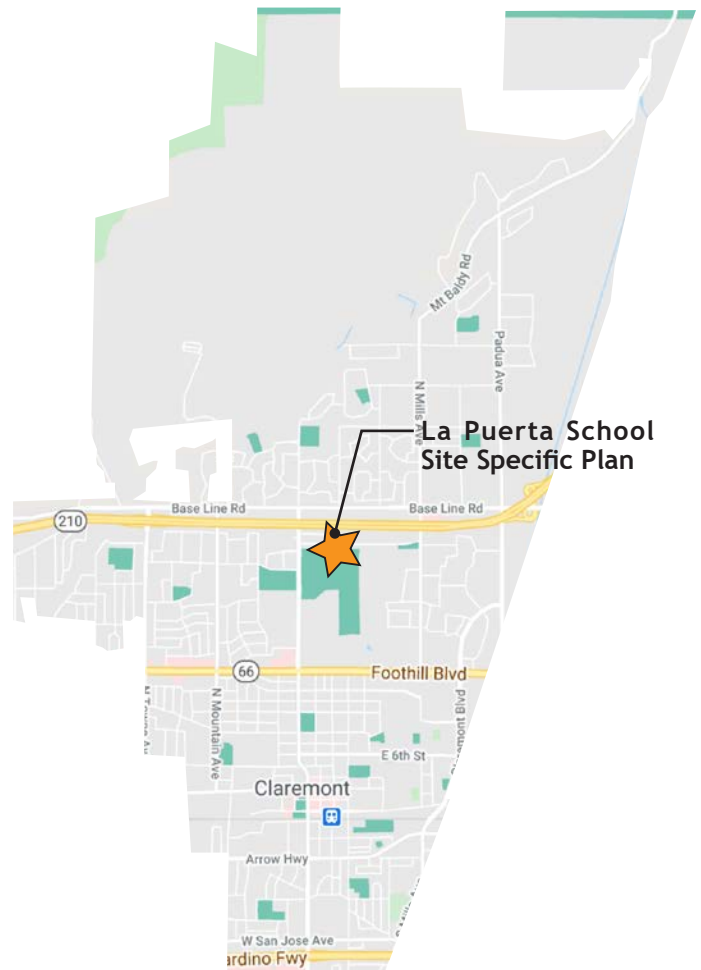


Figure 1.2: Project Location

### 1.4 Existing Conditions

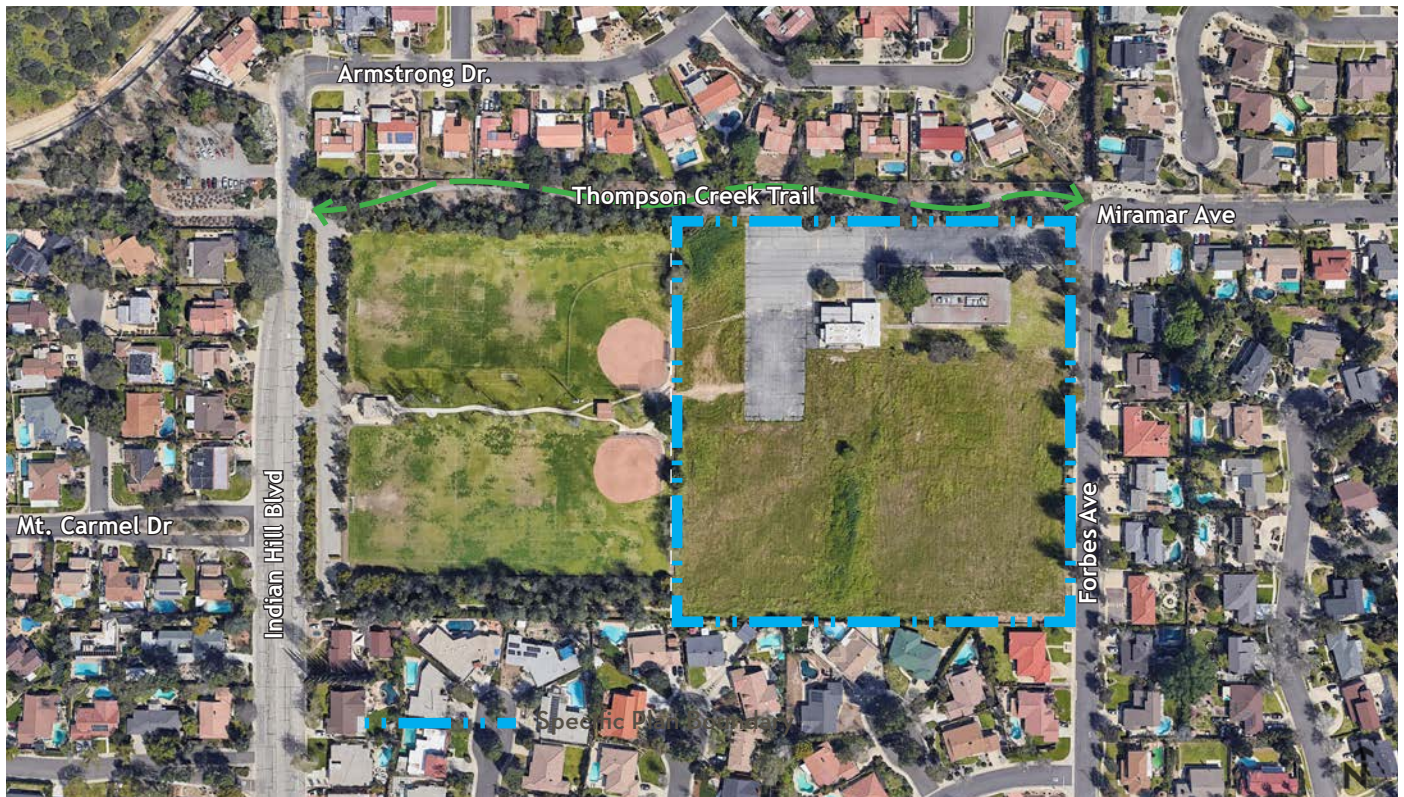
The subject site was previously La Puerta Intermediate School. It closed in 1978, was then used for adult education and was finally demolished in 2018. The property is approximately 10.8 acres.

The existing site generally slopes from the northeast to the southwest.

Figure 1.3: Property Prior to School Demolition (2007) shows an aerial view of the subject parcel with the original school buildings. Figure 1.4: Existing Conditions (2020) is an aerial photograph of the project area post school building demolition as well as surrounding land use designations.

- To the north of the development are one-story single-family homes zoned RS 13,000 with an R6 land use designation.
- To the east across Forbes Avenue are one and two-story single-family homes zoned RS 13,000 with an R6 land use designation.
- To the south are one-story single-family homes zoned RS 13,000 with an R6 land use designation.
- To the west is La Puerta Sports Park, a public park containing sports fields. Across North Indian Hill Boulevard are one- and two-story single-family homes zoned RS 13,000 with an R6 land use designation.





■ ■ ■ ■ ■ Specific Plan Boundary

Figure 1.3: Property Prior to School Demolition (2007)

Google Earth Aerial Image, Circa 2020



■ ■ ■ ■ ■ Specific Plan Boundary

Figure 1.4: Existing Conditions (2020)

Google Earth Aerial Image, Circa 2020



## 1.5 Claremont Municipal Code (CMC)

As part of the approval of this Specific Plan, the subject parcel was rezoned to Specific Plan (SP). The Specific Plan designation enables design flexibility to attain superior quality and excellence in design, architecture, and landscape for future residents.

This Specific Plan includes new zoning standards for the site, providing site-specific permitted uses and development standards. This Specific Plan allows for the development of a residential community and establishes a plan that defines that development. Where conflicts exist between this Specific Plan and the CMC, this Specific Plan shall take precedence.

## 1.6 Specific Plan Authority

This La Puerta School Site Specific Plan was adopted pursuant to Government Code §§65450 and 65457. The Government Code authorizes cities to adopt specific plans by resolution or ordinance. This Specific Plan is a regulatory document that serves as the zoning regulation for the property.

## 1.7 Relationship to the General Plan

California Government Code (Title 7, Division 1, Chapter 3, Article 8, Section 65450-65457) permits the adoption and administration of specific plans as an implementation tool for elements contained in the local General Plan. Specific plans must demonstrate consistency in regulations, guidelines, and programs with the goals and policies set forth in the General Plan.

The Specific Plan has been prepared in conformance with the goals and policies of the City of Claremont General Plan. The policy analysis in this Chapter describes the manner in which the Specific Plan complies, in general, with General Plan Goals and Policies applicable to the project.

Concurrent with the approval of this Specific Plan, the General Plan land use designation was changed to Residential-6 (up to 6 dwelling units per acre).

### *Land Use, Community Character, and Heritage Preservation Element:*

- The Specific Plan includes sustainable development practices through its inclusion of photovoltaic systems, energy efficient appliances, and low water use landscape.
- Through the Design Guidelines section of the Specific Plan, neighborhood identity is encouraged and the suggested architectural styles are inspired by the established neighborhoods of Claremont.
- A Homeowners Association (HOA) and defined Covenants, Conditions and Restrictions (CCRs) is intended to be organized at the appropriate time, to regulate the community, upholding the aesthetic and quality of the Specific Plan neighborhood.
- The community will not be gated, permitting public vehicular and pedestrian access into the neighborhood.
- The Specific Plan architecture has been designed to provide a pleasing streetscape along with a landscape palette. Shade trees will be planted along the street and in front yards.
- All utilities within the project will be underground.

### *Community Mobility*

- There are sidewalks on both sides of the streets. Where homes are fronting Forbes Avenue, sidewalks will be maintained. Connectivity from Forbes Avenue to the Sports Park will continue by way of Thompson Creek Trail with additional access through the neighborhood.
- All public use sidewalks within the community will be ADA compliant.
- Street trees shall be planted for a pleasant streetscape and to provide shade. Trees will be planted so as to not hinder visibility and lighting will be installed for low light hours.

### *Open Space, Parkland, Conservation and Air Quality*

- New trees will be planted throughout the Specific Plan area providing shade. Trees and other plantings will be in accordance with the City's regulations and plant palette.
- The Thompson Creek Trail (outside of the Specific Plan boundary, but adjacent) is a pathway and linkage to La Puerta Sports Park from Forbes Avenue.
- Homes will be built using sustainable design methods including energy efficient and water conserving design features. Furthermore, homes will be pre-wired for EV charging.

### *Public Safety and Noise*

- All future development will go through proper fire and agency review.
- The project has an approved Environmental Impact Report (EIR). Mitigation measures will be complied with.

### *Housing*

- The Specific Plan Design Guidelines direct the visual aesthetic of the community. The architecture styles and landscape design have been chosen based on the traditional Claremont character. Provided styles include Cottage, Bungalow, Craftsman and Spanish, all which can be found throughout Claremont.

### 1.8 Goals and Objectives of this Specific Plan

The La Puerta Specific Plan through regulations, standards and requirements does the following:

- Provide housing opportunities responsive to the needs of the community.
- Reclaim this vacant site and transform it into a vibrant living environment.
- Create a cohesive enclave through leading edge architectural and landscape design.
- Implement a compact development program and include Accessory Dwelling Units.
- Promote indoor/outdoor living.
- Use water-wise landscape principles.
- Create an energy efficient residential community:
  - Utilize solar energy.
  - Encourage clean mobility with including EV Capable infrastructure in each home.
- Provide a desirable community that people want to come home to.

Implementation of the Specific Plan provides the parameters for a desirable, compact single-family detached development. The Plan coordinates the land use, intensity, and scale of development with the goals and policies of the Claremont General Plan.



## CHAPTER 2 Land Use Regulations

### 2.1 The Concept

This Specific Plan envisions a single family detached home community. The lots can be configured in either a z-lot configuration or as conventional rectangular lots (Refer to Figure 2.2 and Figure 2.3 for conceptual configurations). To accommodate the City's preference in creating an appearance similar to side yards across Forbes Avenue, homes along Forbes Avenue are to be on conventional lots (refer to Figure 2.2). Homes along the interior streets are permitted to be z-lot configuration. Refer to Table 2.1: Development Regulations, Figure 2.1: Conceptual Z-Lot Configuration, and Figure 2.2: Conceptual Conventional Lot Configuration.

## 2.2 Land Use Regulations

The maximum density is 6.0 units per acre. The following standards have been developed for implementation of the Specific Plan.

### 2.2.1 Permitted and Conditionally Permitted Uses

- The uses permitted are described in CMC §16.001.010 Uses and Development Permitted in the RS District.
- Accessory dwelling units are permitted per this Specific Plan and subject to CMC Section 16.333.060, Development Standards.

### 2.2.2 Development Regulations

Refer to Table 2.1: Development Regulations for development requirements. Any modifications, additions, patio covers, or accessory structures shall require review and approval by City staff.

Table 2.1: Development Regulations

Permitted Lot Configurations	
Along Internal Streets	Z-Lot (Refer to Figure 2.1)
Along Forbes Avenue	Conventional Lots (Refer to Figure 2.2)
Lot Area and Dimensions	Minimums
Size	4,000 SF
Width	Z-Lot: 40'/50' (Refer to Figure 2.1 to see variable width) Conventional Lot: 50' (Refer to Figure 2.2)
Depth	90'
Setbacks (from property line to structure) <sup>1</sup>	Minimums
Front	14' to living area; 10' to porch; 8' to low wall
Interior Side	5' to living area;
Street Side	20' to garage door; 15' to living area
Rear	10' to living area; 8' to corner lot living area
Driveway	20' to garage door
Building Separation <sup>2</sup>	10'



Table 2.1: Development Regulations (Continued)

Setbacks (from Forbes ROW to structure) <sup>1</sup>	Minimums
Front	14' to living area; 10' to porch; 8' to low wall
Interior Side	5' to living area
Street Side	20' to garage door; 15' to living area
Rear	10' to living area; 8' to corner lot living area
Driveway	20' to garage door
Building Separation <sup>2</sup>	10'
Private Open Space	Minimums
Private Open Space Per Home <sup>3</sup>	400 square feet with a minimum dimension of 10'
Heights	Maximums
Buildings (Measured Finished Grade to Roof Ridge)	2 stories; 35' (ADU may be on second story if integrated into primary residence.)
Wall/Fence Along Site Boundary	6' high (Additional 6" permitted for decorative cap)
Wall/Fence Between Homes	6' high
Front Yard/Side Yard Low Walls	3' high
Retaining Walls	6' high
Parking	
Garage Interior Dimension (from interior of wall)	9' x 20' minimum per space
Number of Spaces	2 covered spaces per home
On-Street Parking	Permitted, but not to be counted toward meeting parking requirement
Other	
Feature Window <sup>3</sup>	4" minimum recess from wall plane
Front Porch	6' minimum depth
Architectural Encroachments	See Footnote 2
Sidewalks for Public Use	5' minimum
Community Gated Entry	Not Permitted

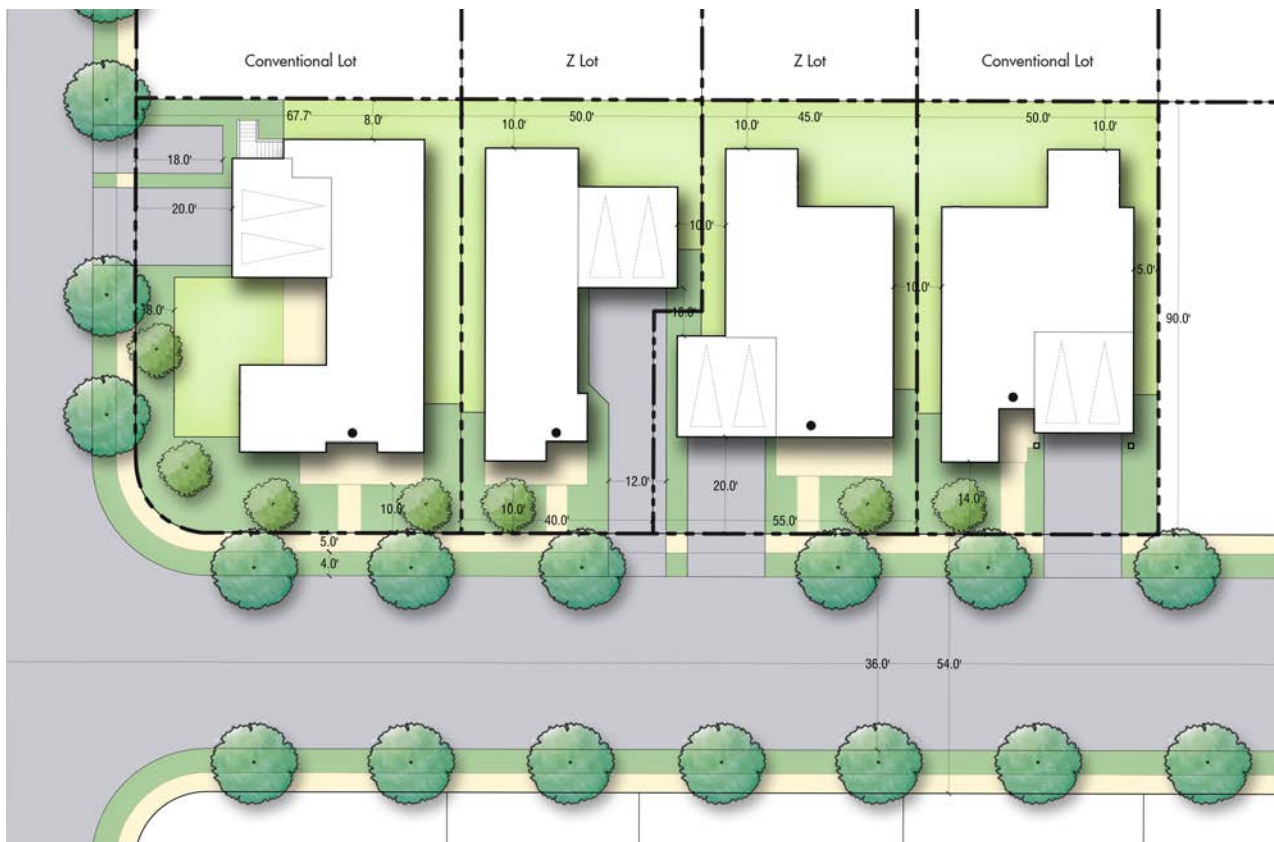
1. Eaves are permitted to encroach in all setback areas up to 30 inches.

2. Entry facilities, eaves, cornices, belt courses, cantilevered bay windows, fireplace masonry, and similar architectural features that do not increase habitable space may encroach into required setbacks. A minimum six-foot building separation shall be maintained between homes when implementing this type of encroachment.

3. Private open space areas may include balconies, patios, or terraces. These areas shall be integrated into the overall architectural design of the building. Architectural elements (e.g., railings, trellises, short walls, roof-top enclosures, etc.) shall be consistent with the architectural style of the structure to which they are attached.

4. Feature window is an emphasized window that enhances the architectural elevation. Methods for creating a feature window include a unique shape, wider trim/box-out, or larger size. Feature windows with 4" minimum recess shall only be included if characteristic of architectural style.

Figure 2.1 and Figure 2.2 are examples of lot and home configurations based on the development standards. These are conceptual diagrams only to explain setbacks and potential layouts.



**Figure 2.1: Conceptual Z-Lot Configuration (subject to change, for illustrative purposes only)**

The z-lot formation is an innovative design that enables efficiency in the overall project while providing all of the advantages of conventional single family lots.





### 2.3 Windows

Fiberglass windows shall be included in the following conditions:

- All windows located on the front elevations for all homes, regardless of location.
- All windows visible from the street.
- All windows that are considered Feature Windows.

### 2.4 Non Architectural Elements

#### 2.4.1 Mechanical Equipment

Mechanical equipment shall be screened from public view. Where feasible, it shall be located in side or rear yards. Mechanical equipment includes:

- HVAC equipment
- Gas and electric meters
- Cable/TV panels
- Exterior landscape/lighting equipment

Mechanical equipment is prohibited in patio/porch areas. When feasible, mechanical equipment shall be placed on the side of the home for minimal public visibility. Other screening methods may include but are not limited to landscaping and/or low walls. Materials and details used for screening shall be the same as those used on the primary residence.

#### 2.4.2 Solid Waste

Space shall be provided for the refuse storage bins out of view from the street.

#### 2.4.3 Utility Infrastructure

All utility lines within the Specific Plan boundary shall be located underground.

### 2.5 Landscape & Lighting

#### 2.5.1 Landscape

The landscape plan shall provide variety, texture and color to blend with the landscape palette of Claremont. Water-wise landscape principles shall be utilized and all landscape installation shall be consistent with CMC Chapter 16.131: Water Efficient Landscape Requirements.

#### 2.5.2 Lighting

Outdoor light fixtures shall be designed, installed, and maintained so as to direct light only onto the property on which the light source is located.

- All outdoor lighting fixtures shall have prismatic diffusing lenses and/or appropriate shielding so the light source is not directly visible from the public right-of-way or abutting residential properties.
- No outdoor lighting fixtures for a single-family home or in any Single-Family Residential Districts shall be mounted more than 14 feet above adjacent grade on any wall or structure except when used to illuminate a second-story entryway, balcony, or outside stairway, in which case the fixture shall not be higher than 8 feet above the floor of the second story.
- Decorative common area lighting of landscape elements shall be provided in the entry and common area. Lighting shall meet City of Claremont safety standards.

## 2.6 Sustainability

The number four Goal Area stated in the Claremont Sustainable City Plan is for a sustainable built environment, which considers new construction, neighborhood development, infrastructure development, and existing development. The following are required to support the City's Goal:

- All homes shall be all-electric, supporting sustainability goals, improving indoor air quality, and reducing reliance on fossil fuels.
- Homes shall be built to Title 24 Code requirements, at minimum resulting in homes that promote energy efficiency, water use reduction, and improved indoor air quality.
- Photovoltaics (PVs) shall be provided on each home, reducing impacts on the electrical grid.
- Homes shall be fitted with EV infrastructure per Title 24 Energy Code requirements.
- Low-flow water fixtures and energy efficient appliances and materials shall be installed per CalGreen requirements.
- The landscape shall be climate appropriate and designed for low water consumption.
- Smart technology shall be used for irrigation controls.

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## CHAPTER 3 Infrastructure

This chapter discusses the infrastructure, utilities, and public services to be provided to support development of this Specific Plan.

Public transit and regional access is discussed in order to explain connectivity options for future residents. Proximity of transportation infrastructure to the Specific Plan Area is relevant to encourage walkability to transit, public transit use, and vehicular access to points beyond.

### 3.1 Regional Transportation Services

To access the greater Southern California region, Claremont residents can use automobile or public transit. The 210 Freeway runs east and west, with access to San Bernardino to the east, and the San Gabriel Valley to the west. Along the most southern border of the City runs the 10 freeway which can be used to travel east toward San Bernardino and west toward Los Angeles.

The Metrolink connects Claremont to the greater Southern California region by train. The San Bernardino Line currently connects San Bernardino to LA Union Station, Claremont is one of the stops on this route. The Claremont Metrolink Station is located at Indian Hill Boulevard and 1st. Street.

Foothill Transit provides bus service through Claremont. It is a component of the METRO system, the region's integrated transportation system. Residents have access to transit with bus stops located 0.5 miles from the Specific Plan boundary. The closest bus line is Line 292 and is located at Baseline Avenue and Forbes Avenue. At the time of this Specific Plan adoption, Line 292 serves Claremont, Pomona, and Montclair. Popular destinations include Park West High School, Pomona Civic Center, Pomona Library, Garey High School, Historical Society of Pomona, Pomona Catholic High School, Pomona High School, Pomona Valley Hospital Medical Center, Claremont High School, Claremont Botanic Garden, Claremont Colleges, Claremont Village, and Montclair Plaza. Frequency of service is approximately every 30 minutes (as of 2022).

The Pomona Valley Transportation Authority provides van service for the disabled and residents over 60 years old who need transportation to shopping centers, medical appointments and similar trips.

## 3.2 Circulation Plan

The community is accessed from Forbes Avenue. Roads within the Specific Plan will be privately maintained by a Homeowners Association (HOA), but shall be ungated and accessible to the public, similar to the surrounding neighborhoods. Public parking shall be available through a public easement, ensuring community wide access.

### Forbes Avenue

For the segment of Forbes Avenue where homes orient toward the street, improvements shall be made on the west side of the right-of-way to accommodate the homes, driveways, and curb cuts. Forbes Avenue will have curb adjacent sidewalks with landscape opportunities between the sidewalks and the homes. Shade trees shall be planted along the street. Forbes Avenue will continue to operate as a public street, maintained by the City.

### Local Streets

The internal streets shall be compliant (36-foot road width) with the Local Street designation in the General Plan and Claremont Standard Drawing No. 1050: Street Section (Residential - with Parking). Streetscape design shall include street trees and sidewalks for pedestrian accessibility.

Refer to Figure 3.1: Local Street Section Example.

### 3.2.1 On-Street Parking

The streets within the Specific Plan accommodate and permit public on-street parking. A public easement will be included that will permit public parking along the private streets.

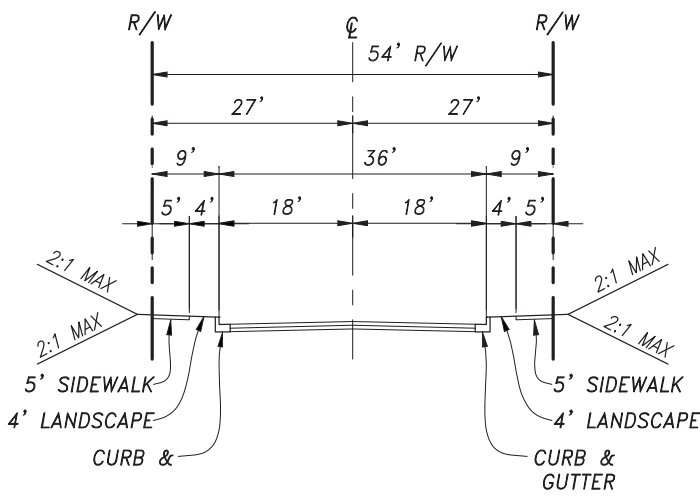


Figure 3.1: Local Street Section Example



### 3.3 Grading

The site generally slopes from northeast to southwest ranging in elevations from approximately 1,490 feet above sea level at the northeast corner to 1,460 feet above sea level at the southwest corner.

The project includes grading the site to provide streets and level pads for single family homes. The pad elevations of the lots will generally “step down” from east to west, with the westerly lots being lower than the easterly lots. The existing dirt mounds will be removed or redistributed throughout the site as necessary.

Grading of the lots will create a small slope condition where the residential neighborhood will be higher than the adjacent existing park. The drainage pattern will remain essentially the same as compared to its current condition – drainage will generally flow westerly from Forbes Avenue towards the existing concrete ditch that runs along the southern boundary of the park.

To accommodate development, retaining walls are permitted. Refer to Table 2.1: Development Regulations for maximum retaining wall height.

### 3.4 Drainage

The site drains from the northeast to the southwest. Drainage flows into an improved concrete channel that is existing in the park. Drainage occurs through the site’s southern boundary. The low flows will be directed through the Specific Plan area streets to an underground vault located at the southwest corner (adjacent to the park) for which a dry well is installed

for infiltration. Drainage will flow from the drywell out to an existing parkway culvert located at North Indian Hill Boulevard.

The City of Claremont is subject to the requirements of the Los Angeles County Municipal Storm Water (Municipal NPDES Permit) Order No. R4-2012-0175, the project complies with this order. In addition, the project is will comply with the City’s Development Planning/Low Impact Development (LID) program to control pollutants from new development. The drainage system is will meet the County of Los Angeles’ requirements for Water Quality with a project specific Water Quality Management Plan (WQMP) to be approved by the City of Claremont. The proposed mainline storm drain system is expected to be maintained by an HOA.

### 3.5 Public Services

#### 3.5.1 Water

Water for this site is supplied by the Golden State Water Company. 8” water lines are estimated to service the Specific Plan and are expected to run throughout the site, connecting to an existing 12” water line located at Forbes Avenue and Armstrong.

#### 3.5.2 Sanitary Sewer

The proposed sanitary sewer system will be located within the internal road system throughout the site. Homes along Forbes Avenue will connect into the existing sewer lines in Forbes Avenue, while the homes within the tract will connect to the Indian Hill sewer lines (via an easement). Sewer lines are expected to be 8” and connect into existing 8” lines.

### 3.5.3 Utilities

Southern California Edison (SCE) is the electric utility provider in the area. There are existing overhead poles on the east side of Forbes Avenue, which will remain in place.

The gas provider for this area is Southern California Gas Company, connections are made from Forbes Avenue.

Cable, telephone and internet services within the City are provided by Frontier and/or Spectrum.

All service providers are granted an easement to access and maintain utility infrastructure within the community. All easements are non-exclusive; this opens up the opportunity for other service providers to serve the site in the future.

All on-site dry utilities are provided through underground infrastructure except above ground transformers and pedestals.

### 3.5.4 Emergency Services

The site is served by the City of Claremont Police Department.

Fire services are provided by the Los Angeles County Fire Department. The closest Fire Station to the project is Station 62. It is located at 3701 North Mills Avenue and is approximately 1.2 miles away.

### 3.5.5 Schools

The site is located in the Claremont Unified School District.



# CHAPTER 4 Design Standards and Guidelines

## 4.1 Design Philosophy and Framework

The design guidelines provide the design framework for streetscape, landscape and buildings to convey a unified and unique community character. They establish a direction to ensure a high-quality and aesthetically cohesive environment. While these guidelines establish the quality of the architectural and landscape development for the La Puerta Specific Plan, they are not intended to prevent alternative designs and/or concepts that are compatible with the overall project theme. The guidelines can accommodate changes in lifestyles, consumer preferences, economic conditions, community designs and the marketplace, as necessary.

The architectural and landscape guidelines complement each other. Together they offer a high quality aesthetic and welcoming livable community.

The following principles guide the architecture to ensure quality implementation:

- Use architectural elements and details that reinforce the architectural styles.
- Choose appropriate massing, roof forms, colors and materials to define the architectural styles.
- Ensure that plans and styles provide a degree of individual identity while being harmonious with each other along the streetscape.
- Provide a varied and interesting streetscene.

### 4.2 Community Character

The setting for the La Puerta Specific Plan provides a unique opportunity to create a cohesive community character. This character will be implemented by carefully integrating architecture and landscape into the community design. The vision for this future neighborhood draws from the historical aspects of the City. Architectural elevations are inspired by the picturesque homes found in Claremont and further described below.

Claremont's Historic Village is eclectic and includes Mission, Spanish Colonial, Craftsman/Bungalow, American Colonial Revival, and Mid-Century Modern. These unique homes, varying lot sizes, and distinct tree-lined streets make the Village easily recognizable and distinctive from other parts of Claremont.

A variety of the most architecturally pleasing homes in Claremont were built during the first half of the 1900s and are located in the Village. Today, these homes represent an array of designs pre-dating War I and are the inspiration for future homes within the Specific Plan Area.

Besides the architectural vernacular, the Specific Plan envisions home siting and configurations also inspired by Claremont villages. While architecture plays a crucial role in defining the aesthetic of a neighborhood, it is vital to recognize the underlying subdivision(s) of land and its role in establishing development patterns. In the case of the Village,

the distinct differences are apparent and define the layout of streets, lot sizes, lot dimensions, width of driveways, landscaped parkways, and siting of the homes or structures on each lot. An example of a typical block in the Village can be seen in this block's subdivision and shown in Figure 4.1, and characterized by a wide variety of lot sizes, depths, and widths. Similar to this example, the La Puerta Specific Plan provides opportunity through development standards and guidelines to offer various lot configurations and style diversity.

### 4.3 Neighborhood Organization

The La Puerta community borrows from the classic design elements found in Claremont's historic neighborhoods. The diversity of these features also complements the surrounding neighborhoods. The following are required to achieve this vision:

- Provide pedestrian connectivity through the neighborhood.
- Orient homes towards Forbes Avenue so as to fuse this new enclave with the existing neighborhood.
- Provide architecture that minimizes the garage and pushes the living space forward, by strongly encouraging garages to be set back greater than living space exterior wall planes, front porches, or low-walls.
- Include private outdoor living space (yards, courtyards, and/or porches are encouraged) in all primary homes.

## 4.4 Streetscape Design

The following guidelines are offered as methods to visually activate the neighborhood streets with connection between the homes and the public realm.

- Orient homes toward the street with clearly defined entries facing the street.
- Provide a direct pedestrian path between the home and the sidewalk.
- Design meaningful front porches to enhance the visual streetscape and provides exterior social space for residents.
- Use low courtyard walls, fences, or living fences (hedges) to delineate between public and semi-private space. Choose materials and colors that visually complement the structure's facade.
- When providing functional lighting, fixtures should shine the least obtrusive amount of light but be bright enough for people to perform activities.
- Provide lighting to illuminate building address numbers, landscape, and structures at night.

### *Design Principles*

Providing a mix of styles minimizes monotony and encourages interest. The multi-style streetscene should be diverse as to architectural styles, features, windows, front doors, garage doors, materials and colors.

## 4.5 Corner Lots

Corner lots have high visibility and are important to the design quality of La Puerta. Corner lots are unique lots in the project, as they can accommodate garage access on one side of the corner and the front door on the other corner. This lot configuration

also allows for enhanced architectural elevations, providing movement and massing changes along both street sides. Corner lots shall:

- Use one-story elements on the visible sides, where possible such as a prominent porch, accent or gabled single-story roof, gable-end details on single-story roof condition.
- Provide the same level of architecture as the front elevation in both detail and articulation
- Create a discernible massing offset of at least two feet at visible edges.



Single-story architectural elements



### 4.6 Building Form and Massing

Residential buildings shall be broken down into smaller components to reduce the appearance of one singular mass through a variety of architectural techniques and treatments such as:

- Varied roof forms, pitches, and heights.
- Changes in materials and color.
- Clearly defined entry feature such as a porch or architectural feature above the front door.



Features to provide massing offsets and articulation including wall offsets, material changes, front porch elements, and roof changes.



Building projections and architectural design elements used to create massing and articulation.

#### 4.6.1 Varied Setbacks and Massing

In order to ensure visual interest and charm, homes shall provide a staggered array of massing along the street. The techniques used may vary depending on plan type. These methods shall include (not all have to be used on every home):

- Massing setbacks at the second story, this will also help reduce the appearance of the overall building scale.
- Varying ground floor setbacks.
- Provide porch or low-wall courtyard features to give wall plane variation.
- Where feasible, adjust massing to accentuate the entry and minimize garage prominence.
- Vary roof forms/changes in roof plane.

#### 4.6.2 Garages

Garage doors are an important architectural feature of building form and massing. Thus, the aesthetic of the garage doors are of high design importance and shall be compatible and enhance the home's architectural style. The following are recommendations to enhance the streetscene incorporating garage doors as a design feature:

- Design garage door patterns consistent with the style of the home.
- Garage doors should be recessed a minimum of 4 inches from the face of the garage where appropriate to the architectural style.
- If styles permits, consider a range of garage door colors or patterns for visual interest.

### 4.7 Materials & Finishes

Specific materials are identified for each architectural style in the Style Characteristic Tables located in Sections 4.12.1 - 4.12.4. The following methods are encouraged to promote visual balance and cohesion within the neighborhood.

- Place lighter materials above heavier materials.
- Use complementary building materials that promote a harmonious appearance and provide interest and variety consistent with the architectural styles.
- Where possible, use style-appropriate concrete roof tile blends; prohibit overly dramatic blends with extreme contrast.

Material finishes should express permanence and quality.

- Create a more solid and permanent appearance with stone or other masonry materials, particularly as accents.
- Install masonry using methods that support an authentic appearance.
- Avoid frequent changes in materials.
- Detail finishes properly with the architectural style.
- Use high-quality, durable, low-maintenance materials.

#### 4.7.1 Stucco

Stucco finishes shall project high quality and be appropriate to the architectural style. Heavy Lace and Spanish Texture stucco finishes are prohibited, at minimum stucco shall be 16/20 coarseness.

## *Stucco Details*

All stucco trim details (such as window surrounds, window sills, roof eaves, column details, lintels, etc.) shall be constructed with a level of precision and accuracy to express the authentic execution of the style;

- Use clean, crisp and smooth stucco details.
- Use a different trim stucco finish or color from the wall stucco finish.
- No rough, “blob”-like and uneven stucco finish.
- Carefully locate stucco control joints if applicable on elevation designs.

## *4.7.2 Veneers*

To reflect natural materials, it is strongly recommended that manufactured stone have texture and color that mimics natural stone and be durable. The mortar joint types and colors for each masonry product used should also be considered.

## *Stucco Screed Details*

The stucco weep screed at stone or brick adhesively applied veneers shall be detailed to be as close to finish grade/finish slab as possible while still maintaining the minimum dimensions required by the building code.

Sufficient details, notes and specifications shall be provided in the construction documents to ensure proper construction in the field.

## *Material Wrapping*

When feasible, materials shall wrap around the corner and extend to a logical terminus point (or minimum 5 feet) that is incorporated into the overall architectural design.

Wrap columns, tower elements and pilasters entirely.

## *4.7.3 Wood*

Where “wood” is referred to in this document, it can also be interpreted as simulated wood trim with style-appropriate wood texture.

## *4.7.4 Eave Paint*

Eave paint shall match the fascia color.



Example of material wrapping



## 4.8 Windows

Window details differentiate architectural styles and can provide a high level of architectural enrichment. The selection and proportion of the windows to the façade should be responsive to the architectural style of the building. Size and shape should be considered to assure a balanced relationship with the surrounding roof and walls. Accent shutters are a way to further enhance the architecture and should be proportionate to the window opening. In general, windows shall enhance rather than dominate the overall architectural character.

- Except in interior side yard conditions, horizontal bathroom windows are prohibited.
- Divided lite or high-quality simulated divided lite windows shall be used if they reflect the architectural style.
- Windows shall be articulated with sills, kickers, shutters, or awnings that are authentic to the architectural style of the house.
- Primary upper and lower windows should stack vertically for organization of facade, whenever possible and if functional for the interior living space.
- To enhance privacy, windows on side elevations should be staggered whenever possible so as not to be positioned directly opposite of the windows in the adjacent structure.

### 4.8.1 Shutters

All shutters should comply with the following:

- Mount shutters on finished wall material, embedded shutters prohibited;
- Match shutter size to the recessed opening window width.
- Use material at least 1.5 inches thick.



Balanced and proportionally sized shutters

## 4.9 Color

The use of color and materials is an essential ingredient to quality development. Successful applications of colors and materials improve the character and essence of the community.

The primary goal of color and materials palettes is to further enhance and define the architectural styles within this document. Equally important is the balance of diversity and harmony; variety of color and materials must be achieved within the context of a harmonious community.

## CHAPTER 4 Design Standards and Guidelines

SPECIFIC PLAN  
Draft September 2024

Colors selected should be appropriate to the styles they represent and used to further differentiate from the other styles.

Architectural screens, fences and accessory structures shall be compatible in material, color and texture to the main buildings.



Architectural diversity for a more interesting streetscene



Color and material balance and harmony



Soft lighting enhances the evening streetscene

## 4.10 Lighting

Outdoor light shall be functional but not create light spill. They shall be least obtrusive but provide enough light to perform activities and enhance safety in low-light hours.

Exterior lights shall be located and shielded so as to not impact the adjacent property owners in terms of glare and privacy. However, the lighting should be strategically located to bring ambiance to the evening streetscape.

Light fixtures shall be consistent with the architectural style of the home.

### General Requirements:

- Outdoor light fixtures shall be designed, installed, and maintained so as to direct light only onto the property on which the light source is located. All outdoor lighting fixtures shall have prismatic diffusing lenses and/or appropriate shielding so the light source is not directly visible from the public right-of-way or abutting residential properties.
- In residential areas, no mercury vapor utility yard lights or other light fixtures with high intensity discharge lamps or bulbs, which are not designed to limit or control where light is directed and/or which do not shield the light source from direct view from neighboring residential properties or public right-of-way, shall be permitted.
- Any indirect illumination of neighboring residential properties or uses shall not exceed 0.5 footcandles at the property line as measured horizontally and vertically from adjacent grade to a height of 14 feet.

### Single-Family Residential Specific Requirements:

- No outdoor lighting fixtures for a single-family home or in any Single-Family Residential Districts shall be mounted more than 14 feet above adjacent grade on any wall or structure except when used to illuminate a second-story entryway, balcony, or outside stairway, in which case the fixture shall not be higher than eight feet above the floor of the second story.
- No outdoor lighting fixture in any single-family residential development shall be mounted more than eight feet above adjacent grade on any pole.
- No building permit shall be issued for outdoor lighting for a single-family home or in a Single-Family Residential District until a lighting proposal, submitted by the applicant, has been reviewed by the Director of Community Development for compliance with the standards of this section. The lighting proposal shall include the following information:
  - Site plan with proposed location of exterior lights.
  - Type, design, and size of light fixture.
  - Height of light fixture.
  - Type and total wattage of lamps.
  - Any additional information the Director deems necessary to determine compliance with the provisions of this section.

## 4.11 Addresses

Addresses shall be clearly visible from the nearest emergency vehicle right-of-way. As such, they should also be mounted next to a light source and clearly illuminated by lighting during low-light periods.



### 4.12 Architectural Styles

These design guidelines are intended to be followed to a high degree, although some flexibility is inferred. It is not the intent of these design guidelines to require that all of the identified design components and elements be incorporated into the actual building designs. Rather, these guidelines serve as a “palette” of character defining elements that can be used to create authentic and distinct architecture. Additional styles may be proposed however, they must follow the same principles and attention to detail as the specific styles provided. Newly introduced styles must be compatible with the overall La Puerta community aesthetic. The suggested styles listed below are inspired by the Claremont Historic Village.

- American Cottage
- California Bungalow
- California Craftsman
- Spanish



### *Authentic Adaptations*

Recognizable authentic architecture is based on traditional forms, materials and details that reasonably express the heritage of a particular style. Historically derived, or authentically adapted elevations continue to focus on forms and details, but allow for the integration of modern materials, colors and artistic interpretation to generate a contemporary, yet recognizable expression of an architectural style. Historically adapted elevations combine these notions into physical reinterpretation of an architectural style.

Authentic adapted elevations should primarily express a recognizable architectural style, with minor alterations to incorporate new, modern or progressive forms, details and materials in the modern context of architecture.





### 4.12.1 American Cottage

American Cottage is a classic style that can be adapted to a more contemporary version and found in Claremont. When done, this style of home retains the massing and form that is reminiscent of early American heritage but with simpler lines and contemporary details. Cottages found in Claremont commonly exhibit horizontal siding, a porch element, and divided lite windows. Roofs are simple in form, most often accented with gables.



(Illustrative Only)

Elements	Style Characteristics (not all have to be incorporated)
Roof Components	4:12 roof pitch
	12" to 18" overhangs
	Front to back gables, intersecting gable roofs also permitted
Roof Materials	Concrete roof tile - flat or shake appearance
Wall Materials	Medium sand float stucco finish (16/20 minimum)
	Horizontal siding - may be combined with stucco
Wall Colors	Whites, off-white, dark or light colors
Trim & Details	Simplified cornice trim at gable ends
	Window trim on upper and lower sides of window
	Surface mounted fixtures on front elevations must complement architectural style
	Square wood columns with trim
	Shutters, brick accents permitted
	Window trim a minimum of three inches width and one inch in depth
Trim Colors	White or contrasting with field color
Windows	Vertical divided lite window at front elevations
	Divided lite windows on side and rear elevations at visible edges
Doors & Gates	Porches and/or balconies with vertical railing
	Front and garage door patterns to complement style
Accent Colors	Light or dark colors in contrast or harmony with field colors



Vertical Railing

Horizontal Siding

Square Wood Columns



Shutters

Vertical Divided Lites



### 4.12.2 California Bungalow

The Bungalow style is a derivative of the American Craftsman style. California was first introduced to the Bungalow style at the turn of the twentieth century, they were particularly popular in Southern California.

What makes Bungalows identifiable including those in Claremont are horizontal lines, ample porches, and lower pitched gable roofs. Common exterior materials included shingles for the roof, and siding and stucco on the walls. Typically, ornamentation is sparse, but wood, brick or stone accents embellish the elevations. Current construction techniques include veneers and simulated wood materials due to durability.



(Illustrative Only)



Elements	Style Characteristics (not all have to be incorporated)
Roof Components	4:12 to 6:12 roof pitch
	16" to 24" overhangs
	Basic gabled roof - side to side with cross gables
Roof Materials	Flat concrete tile - shingle appearance
Wall Materials	Medium sand float stucco finish (16/20 minimum)
Wall Colors	Light to dark earth tone
Trim & Details	Entry porches with heavy square columns
	Trim at windows and doors
	Gable end outlookers
	Surface mounted fixtures on front elevations must complement architectural style
	Open eave overhangs
Trim Colors	Window trim a minimum of three inches width and one inch in depth
	Light to dark earth tones in harmony or contrasting with field
Windows	Vertically proportioned windows with divided lites
Doors & Gates	Front and garage door patterns to complement style
Accent Colors	Clear to muted blues, greens, rust, and burgundy in medium to dark value range or dark browns

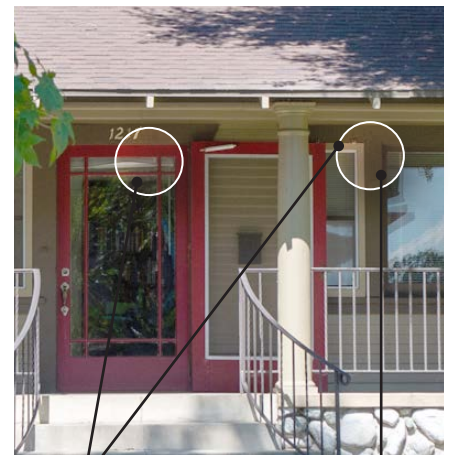


Entry Porches with Heavy Square Columns



Dark Earth Tone

Gable End Outlookers



Trim at Windows and Doors  
Vertically Proportioned Windows

### 4.12.3 California Craftsman

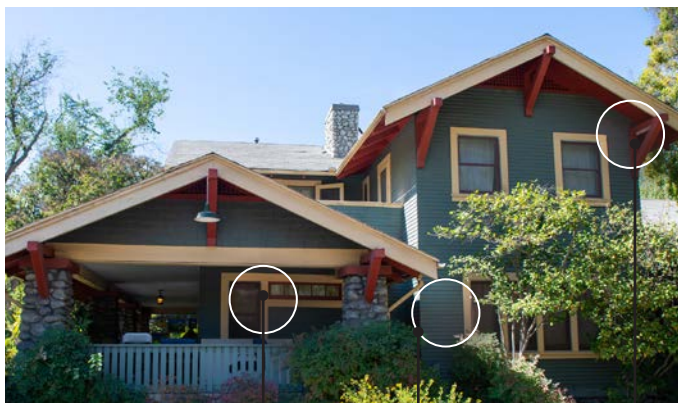
The Craftsman style was inspired by the English Arts and Crafts Movement of the late 19th century. Of the utmost importance was that all exterior and interior elements received both tasteful and “artful” attention. In the Claremont neighborhoods, the style is characterized by the rustic texture of building materials, exposed rafter tails at the eaves, porches, vertically proportioned windows, and bold color.



(Illustrative Only)



Elements	Style Characteristics (not all have to be incorporated)
Roof Components	4:12 to 6:12 roof pitch 12" 16" to 24" overhangs Basic gabled roof - side to side with cross gables
Roof Materials	Flat concrete tile - shingle appearance
Wall Materials	Horizontal siding - may be combined with stucco Stone base accents on walls and/or porch
Wall Colors	Light to dark earth tone
Trim & Details	Entry porches with heavy square columns or posts on stone or brick piers Trim at windows and doors Simple knee brace at gable ends Surface mounted fixtures on front elevations must complement architectural style Stone and brick base accents Open eave overhangs with shaped roof rafter tails Window trim a minimum of three inches width and one inch in depth
Trim Colors	Light to dark earth tones in harmony or contrasting with field
Windows	Vertically proportioned windows with divided lites
Doors & Gates	Front and garage door patterns to complement style
Accent Colors	Clear to muted blues, greens, rust, and burgundy in medium to dark value range or dark browns



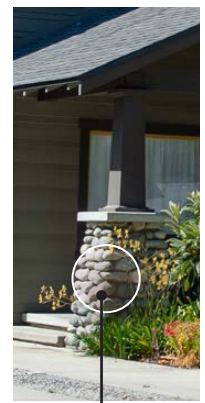
**Bold Use of Color & Trim at Windows and Doors**

**Horizontal Siding**

**Knee Brace At Gable Ends**



**Vertically Proportioned Windows**



**Stone Base Accents**

### 4.12.4 Spanish

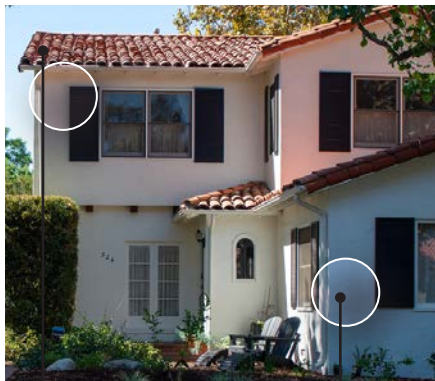
The Claremont Spanish homes most notable characteristics include the use of “S” or barrel tile roofs, stucco walls, feature entry doors, and porticos. Some include accent iron work and carefully placed vent details. The charm of this style lies in the directness, adaptability, and contrast of materials and textures.



(Illustrative Only)



Elements	Style Characteristics (not all have to be incorporated)
Roof Components	Hip or gable roofs
	Roof pitches 3½:12 to 5:12
	Rafter tails, shaped tails preferred
	Parapets with barrel tile caps
Roof Materials	Concrete “S” tile
Wall Materials	Medium sand float stucco finish (16/20 minimum)
	Decorative ceramic tile or brick accents
Wall Colors	Toned whites and light to medium light value warm colors
Trim & Details	Trim at windows and doors
	Closed or exposed eaves
	Gable end details
	Decorative metal
	Style appropriate entry light and garage door fixtures
	Window trim a minimum of three inches in width and one inch in depth
Trim Colors	Medium dark value browns reminiscent of stained wood
Windows	Casement windows
	Vertically proportioned windows with simple divided lites or windows without divided lites
Doors & Gates	Front and garage door patterns to complement style
	Recessed front entry doors
	Rectangular or arched surrounds (following door design)
Accent Colors	Clear to muted blues, greens, rust, and burgundy in medium to dark value range or dark browns



“S” Tile

Medium Sand  
Stucco Finish



Ornamental Details

Toned Whites



Arched Surrounds



## 4.13 Landscape Concept

The landscape concept seeks to unify this new project with the existing landscape character of Claremont. With trees being an important natural element in the City, the La Puerta project carries on this tradition with the planting of streets trees, some of which are mature size at installation. Drawing from the heritage of the area, the landscape elements enhance this new residential neighborhood through the use of native and naturalized plant materials. This heritage theme carries through from the drought-tolerant and indigenous plants to the hardscape features including decorative walls and monuments.

A detailed planting palette has been thoughtfully selected for the project. The primary goal is to incorporate species that are already well established in Claremont, including a variety of traditional trees and shrubs historically found in the area. Plant selection factors include compatibility with local soils, the micro and macro climates throughout the site, the plant's ability to merge into the existing natural environment and drought tolerance. For an overview of the landscape palette, refer to Table 4-1.

The following principles set the design direction of landscaped spaces in the Specific Plan area.

- In accordance with Chapter 16.131 of the Claremont Municipal Code, low-water use plant materials should be selected to limit irrigation needs and minimize water use.
- Mediterranean and other local, climate-friendly plants may be used alongside native species.
- Canopy trees should be provided for shade and enhance building energy efficiency, especially adjacent to south and southwest facing building facades.



Figure 4.2: Conceptual Front Yard Landscape Diagram - Private Street

## 4.14 Front Yard Landscape

The front yard landscape concept envisions a colorful and drought tolerant palette that provides a visual softening from the building to the street. A mix of trees, varied ground cover and shrubbery, as well as different textures and colors enhance the neighborhood aesthetic. Refer to Figures 4.2 - 4.4 for Conceptual Front Yard Landscape Plans.

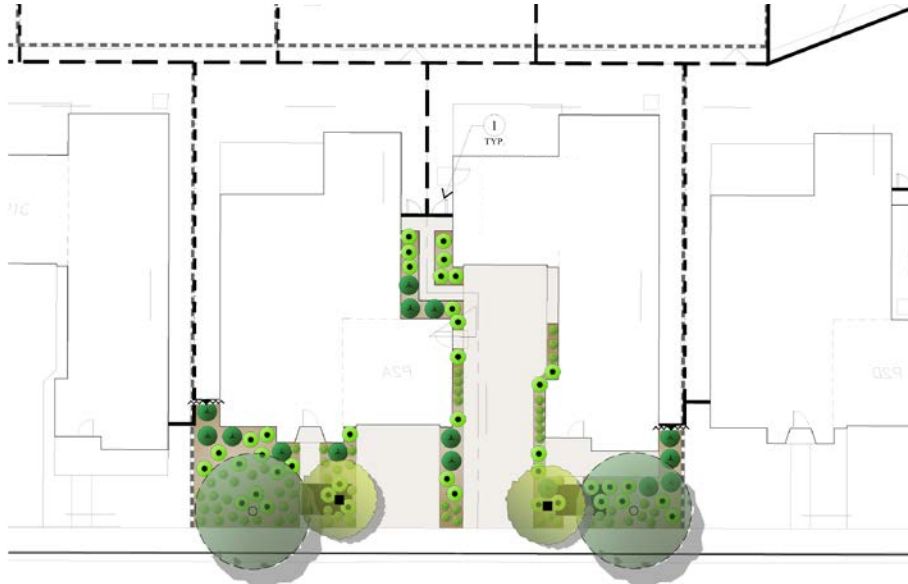


Figure 4.3: Conceptual Front Yard Landscape Diagram - Forbes Avenue

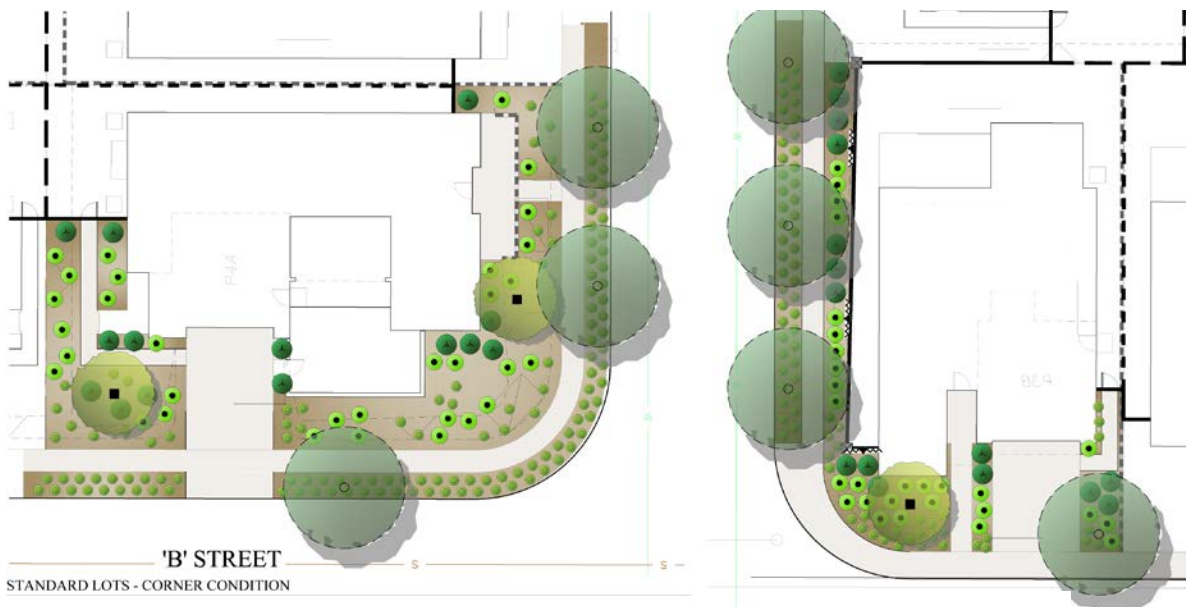


Figure 4.4: Conceptual Front Yard Landscape Diagram - Corner Conditions

## 4.15 Walls and Fences

Where homes back up to the northern property boundary, block wall with block cap shall be installed (Refer to Figures 4.5 and 4.8). These block walls shall be slump block with sacked finish.

Additionally, if at a prominent corner or to break up monotony, pilasters shall be included for articulation (Refer to Figure 4.8).

Fences shall be used for privacy from one neighbor to the next. These fences and walls are consistent with surrounding area conditions that are used between homes and to enclose private yards. These fences may be composite, wood, or simulated wood.

Refer to Figures 4.5 through 4.9 for permitted wall and fence styles.

### 4.15.1 Low Walls

Low walls may be used to delineate private space or denote the entrance into a more private area of a home. Low walls also serve as an visual cue from the public to the private realm. Low wall design shall be based on the architecture style of the home.

Please refer to Figures 4.10 - 4.12 for examples of how low wall styles can be associated with an architectural style.

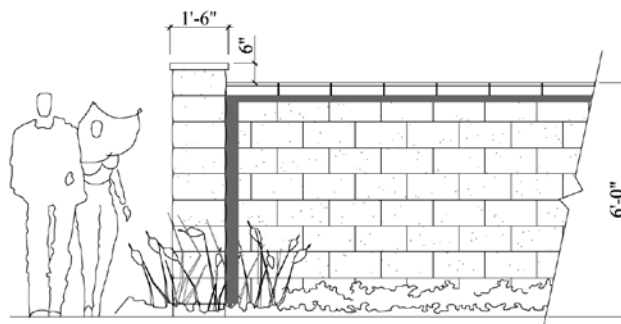


Figure 4.5: CMU Wall

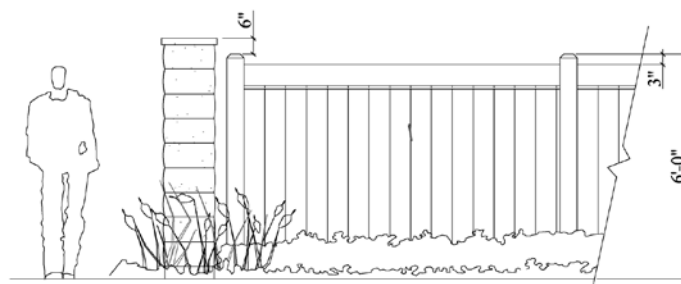


Figure 4.6: CMU Wall with Terminal Fence

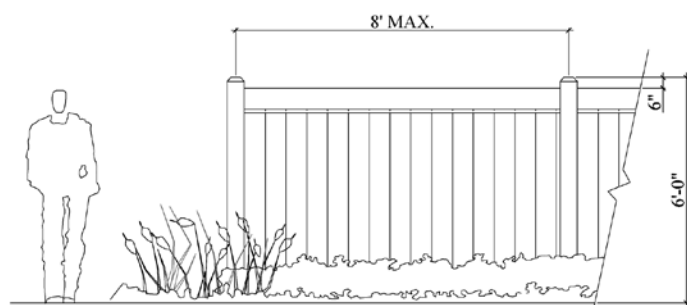


Figure 4.7: Community Interior Vinyl Fencing

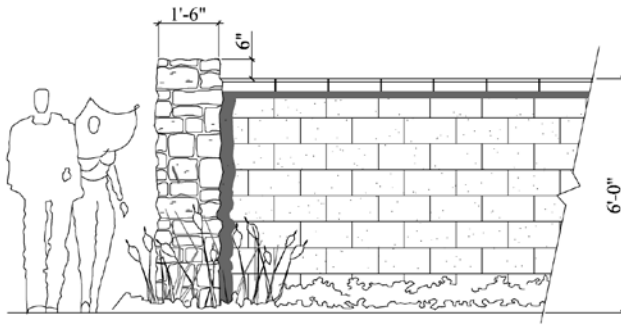


Figure 4.8: Stone Pilaster with CMU Wall

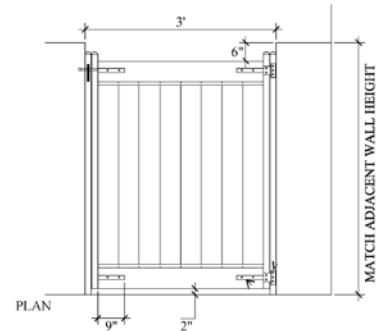


Figure 4.9: Example of Gate

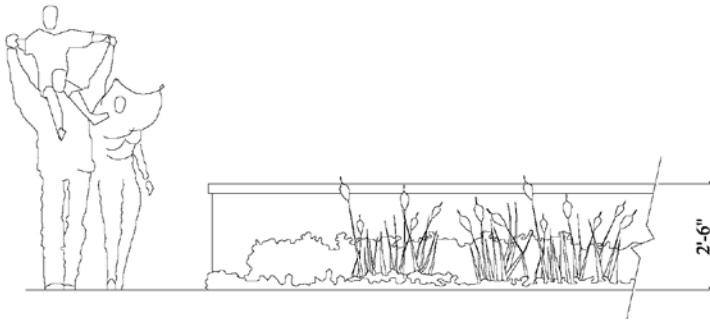


Figure 4.10: Stucco Wall- Spanish Elevation

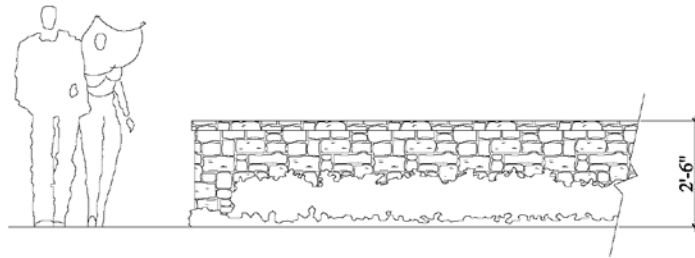


Figure 4.11: Stone Wall - California Craftsman

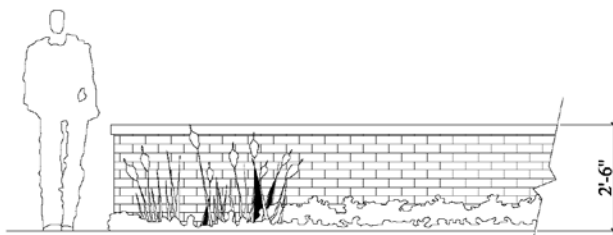


Figure 4.12: Stone Wall - American Cottage

4.16 Plant Palette

The following plant palette has been prepared for the La Puerta Specific Plan. In the future, certain plants may become unavailable, unfavorable, or preferred. In these instances, other plants and trees may be added or used as substitutions as long as they fit with the intent of the Specific Plan goals and aesthetics. Palettes may be implemented/modified at the discretion of the HOA board members as long as the plant modifications are consistent with the City of Claremont’s landscape ordinance.

Table 4.1: Plant Palette

Botanical Name	Common Name
Street Trees	
<i>Agonis flexuosa</i>	Peppermint Tree
<i>Albizia julibrissen</i>	Silk Tree
<i>Chitalpa x tashkentensis</i>	Chitalpa
<i>Koelreuteria paniculata</i>	Golden Rain Tree (Forbes Ave. only)
Trees	
<i>Arbutus ‘Marina’</i>	Strawberry Tree
<i>Lagerstroemia Hybrid</i>	Crape Myrtle
<i>Laurus Nobilis</i>	Sweet Bay
<i>Ligustrum Lucidum</i>	Glossy Privet
<i>Magnolia Grandiflora</i>	Little Gem
<i>Rhus lancea</i>	African Sumac
<i>Prunus Caroliniana</i>	Carolina Laurel Cherry
Shrubs	
<i>Anigozanthos</i>	Kangaroo Paw
<i>Aloe Spp.</i>	Aloe
<i>Arbutus Unedo Compacta</i>	Dwarf Strawberry Tree
<i>Cistus Spp.</i>	Rockrose
<i>Dianella Sp.</i>	Flax Lily
<i>Dietes Vegeta</i>	Fortnight Lily
<i>Elymus ‘Canyon Prince’</i>	Wild Rye
<i>Euonymus ‘Microphyllus’</i>	Euonymus
<i>Lavandula ‘Goodwin Creek’</i>	Lavender



Table 4.1: Plant Palette

Botanical Name	Common Name
<i>Lavatera Maritima</i>	Tree Mallow
<i>Ligustrum Japonicum Compacta</i>	Japanese Privet
<i>Dianella Caerulea</i>	Little Jess
<i>Grevillea Noelli</i>	Grevillea
<i>Muhlenbergia Rigens</i>	Deer Grass
<i>Rhamnus</i>	Mound San Bruno
<i>Alyogyne huegelii</i>	Blue Hibiscus
<b>Shrubs (continued)</b>	
<i>Raphiolepis umbellata minor</i>	Indian Hawthorn
<i>Rosmarinus Officinalis</i>	Rosemary
<i>Salvia Spp.</i>	Sage
<i>Sesleria</i>	Autumn Moor Grass
<i>Viburnum Tinus</i>	Laurustinus
<i>Westringia 'Wynyabbie Gem'</i>	Coast Rosemary
<b>Ground Cover</b>	
<i>Baccharis p. 'Twin Peaks II'</i>	Dwarf Coyote Brush
<i>Festuca</i>	Siskiyou Blue
<i>Myoporum p. 'Pink'</i>	Creeping Myoporum
<i>Rosmarinus o. 'prostratus'</i>	Prostrate Rosemary
<i>Teucrium chamaedrys</i>	Germander
<b>Vines</b>	
<i>Antigonon leptopus</i>	Coral Vine
<i>Hardenbergia Violacea</i>	Lilac Vine
<i>Rosa 'Alba Plena'</i>	Landy Banks Rose

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## CHAPTER 5 Implementation & Administration

### 5.1 Implementation

Future development that would be accommodated by the Specific Plan would be subject to the City's development review process upon a formal request for a development permit. The City's development review process would include verification of land use compatibility compliance in accordance with the development standards and design guidelines of the Specific Plan.

#### 5.1.1 Specific Plan Minor Modifications

Minor modifications or technical adjustments that are deemed to be in substantial conformance with the purpose and intent of the Specific Plan do not require a Specific Plan Amendment and shall be approved by the Director of Community Development. These modifications/adjustments shall not be detrimental to

the public's health, safety, and welfare. Such minor modifications or technical adjustments may include, but are not limited to, the items identified below:

1. On-site conditions or data that do not result in an increase in environmental impacts already assessed in the EIR for the Specific Plan.
2. Adjustments to the sizing of utilities and facilities or a change in utility and/or public service provider.
3. Minor changes to the design of the roadway cross section, provided that the streets have adequate capacity to handle the anticipated volumes of traffic and the design changes are deemed acceptable by the City Engineer.
4. Addition of new information or data to the Specific Plan maps, exhibits and/or text which does not change the effect of any concepts or regulations.

### 5.1.2 Specific Plan Amendments

Any amendments which are not "minor" per Section 5.1.1 shall be processed pursuant to Government Code Section 65453 and the CMC Chapter 16.318.

## 5.2 Financing and Maintenance of Improvements

The financing and maintenance plan for the La Puerta Specific Plan ensures the timely completion of homes, utilities, and other necessary improvements as well as the proper maintenance of these facilities.

Upon acquisition of permits, it is the responsibility of the developer to pay for all improvements associated with this Specific Plan and all other approvals related with this Plan as described in Table 5.1: Financing and Maintenance Plan.

### 5.2.1 Homeowners Association (HOAs)

An HOA and defined Covenants, Conditions and Restrictions (CCRs) shall be developed in order to regulate the community. The HOA will manage the long-term maintenance of items on site that are not maintained by the City. A public easement will be included that will permit public parking on public streets as well as access and maintenance of City-maintained facilities within the private streets. The City easement will also be utilized for emergency services and solid waste collection.

The HOA will maintain the on-site storm drain, lighting, landscape and irrigation systems located on the common lots.

Private areas will be maintained by the Homeowner including the front yards and the areas located behind their fences and walls.

Table 5.1: Financing and Maintenance Plan indicates the parties responsible for construction, financing, and maintaining the public improvements proposed by the Specific Plan.

**Table 5.1: Financing and Maintenance Plan**

Service or Facility	Party(ies) Executing Construction	Party(ies) Financing Construction	Party(ies) Responsible for Operation and Maintenance
Sewer Facilities	Developer	Developer	City of Claremont
Storm Drainage	Developer	Developer	City of Claremont
On-Site Water	Developer	Developer	Golden State Water Company
Internal Streets	Developer	Developer	Homeowners Association
Common Area and Landscape Improvements	Developer	Developer	Homeowners Association
Front Private Yards	Developer	Developer	Homeowner
Private Yard Improvements (other than front yards)	Homeowner	Homeowner	Homeowner

### 5.3 Construction Phasing

All infrastructure within the project boundary will be installed in one phase. These improvements include rough grading, storm drain, water, wastewater, dry utilities, and street improvements.

### 5.4 Future Additions or Alterations of Homes

Alterations are subject to CMC Chapter 16.300 Architectural Review.





*La Puerta*  
SCHOOL SITE