

**CLAREMONT ARCHITECTURAL AND PRESERVATION
COMMISSION
MEETING AGENDA**

*“We are a vibrant, livable, and inclusive community dedicated to quality services,
safety, financial strength, sustainability, preservation, and progress
with equal representation for our community.”*

City Council Chamber
225 Second Street
Claremont, CA 91711



Wednesday
September 10, 2025
7:00 PM

COMMISSIONERS

**JOHN NEIUBER
CHAIR**

MILES BENNETT LISA CASTILLO

JENNIFER DEAL ROBERT PERRY GEORGEANN SPIVACK LAUREL TUCKER

Meetings are open to the public for in-person attendance. The meeting will be live streamed via Zoom, technology permitting. Members of the public will not be able to provide public comment via Zoom. To watch the meeting via Zoom, use the following link: <https://zoom.us/j/98460848259>. To listen via telephone dial (213)338-8477, Webinar ID: 984 6084 8259. The recorded meeting will be uploaded to the City website and archived.

OPTIONS FOR PUBLIC COMMENT:

Public comment may be provided by one of the following methods. Each speaker will be given up to three (3) minutes to provide their comment.

IN-PERSON LIVE COMMENTS

When the item you wish to speak to is announced, please proceed to the speaker's podium one by one.

E-MAIL/MAIL

Written comments sent to the Architectural and Preservation Commission will be distributed to the Commission and imaged into the record of the meeting. Email: pjuarez@claremontca.gov. Mail: PO Box 880, Claremont, CA 91711. Written comments submitted after publication of the agenda will be made available in the document archive system on the City website as soon as possible - www.claremontca.gov.

**For assistance, comments, or more information please contact Pearl Juarez, Commission
Secretary, (909)399-5499.**

CALL TO ORDER THE MEETING OF THE ARCHITECTURAL AND PRESERVATION COMMISSION

PLEDGE OF ALLEGIANCE

ROLL CALL

CEREMONIAL MATTERS, PRESENTATIONS, AND ANNOUNCEMENTS

1. SELECTION OF CHAIR AND VICE CHAIR

Recommendation: Staff recommends the Architectural and Preservation Commission nominate and select a Chair and Vice Chair.

2. ANNUAL TRAINING ON OPEN MEETING LAWS, PUBLIC RECORDS ACT, CONFLICT OF INTEREST RULES, AND CLAREMONT'S ELECTED AND APPOINTED OFFICIALS' HANDBOOK. PRESENTED BY ALISHA PATTERSON, CITY ATTORNEY.

Recommendation: Staff recommends the Architectural and Preservation Commission receive a presentation from the City Attorney on open meeting laws, public records act, conflict of interest rules, and Claremont's elected and appointed officials' handbook, and ask clarifying questions. The presentation will last approximately 20 minutes.

PUBLIC COMMENT

The Commission has set aside this time for persons who wish to comment on items that are not listed on the agenda, but are within the jurisdiction of the Commission. Members of the public will have the opportunity to address the Commission regarding all items on the agenda at the time the Commission considers those items.

General public comment will be taken for 30 minutes and will resume later in the meeting if there are speakers who did not get an opportunity to speak because of the 30-minute time limit.

The Brown Act prohibits the Commission from taking action on oral requests relating to items that are not on the agenda. The Commission may engage in a brief discussion, refer the matter to staff, and/or schedule requests for consideration at a subsequent meeting.

CONSENT CALENDAR

All matters listed on the Consent Calendar are considered routine. The Commission may act on these items by one motion following public comment. Only Commissioners may pull an item from the Consent Calendar for discussion, reading of resolutions and ordinances will be waived.

3. ARCHITECTURAL AND PRESERVATION COMMISSION MEETING MINUTES OF JULY 23, 2025

Recommendation: Staff recommends the Architectural and Preservation Commission approve and file the regular Architectural and Preservation Commission meeting minutes of July 23, 2025.

Attachment(s): Architectural and Preservation Meeting Minutes of July 23, 2025

4. UPDATE ON CITY COUNCIL PRIORITIES AND 2024-26 OBJECTIVES (FUNDING SOURCES: VARIOUS)

Recommendation: Staff recommends the Architectural and Preservation Commission receive and file the update on the 2024-26 City Council Priorities and Objectives.

Attachment(s): City Council Priorities Update

PUBLIC HEARINGS

5. ARCHITECTURAL AND SITE PLAN REVIEW #24-A06, REVIEW OF EXTERIOR REMODEL TO AN EXISTING COMMERCIAL BUILDING IN THE CLAREMONT VILLAGE LOCATED AT 212 NORTH YALE AVENUE – APPLICANT – DARLENE MARTINEZ

Recommendation: Staff recommends the Architectural and Preservation Commission:

A. Adopt a RESOLUTION OF THE ARCHITECTURAL AND PRESERVATION COMMISSION OF THE CITY OF CLAREMONT, CALIFORNIA, APPROVING ARCHITECTURAL AND SITE PLAN REVIEW #24-A06, FOR THE RENOVATION OF THE EXTERIOR FACADES OF THE EXISTING COMMERCIAL BUILDING LOCATED AT 212 NORTH YALE AVENUE APPLICANT - DARLENE MARTINEZ; and

B. Find this item is exempt from environmental review under the California Environmental Quality Act (CEQA)

Attachment(s): Draft Resolution
Proposed Plan Set

6. ARCHITECTURAL AND SITE PLAN REVIEW #24-A11, PROPOSED NEW THREE-STORY MIXED USE RESIDENTIAL BUILDING IN THE CLAREMONT VILLAGE LOCATED AT 115 HARVARD PLACE – APPLICANT – THE TUCKER SCHOEMAN VENTURE

Recommendation: Staff recommends the Architectural and Preservation Commission:

A. Adopt a RESOLUTION OF THE ARCHITECTURAL AND PRESERVATION COMMISSION OF THE CITY OF CLAREMONT, CALIFORNIA, APPROVING ARCHITECTURAL AND SITE PLAN REVIEW #24-A11, REVIEW OF PROPOSED NEW THREE-STORY MIXED USE RESIDENTIAL BUILDING IN THE CLAREMONT VILLAGE LOCATED AT 115 HARVARD PLACE - APPLICANT - THE TUCKER SCHOEMAN VENTURE; and

B. Find this items is exempt from environmental review under the California Environmental Quality Act (CEQA)

Attachment(s): Draft Resolution
Proposed Plan Set

ADMINISTRATIVE ITEMS - None

CONTINUED PUBLIC COMMENT

This time is reserved for those persons who were unable to speak earlier in the agenda because of the 30-minute time restriction.

REPORTS

Staff

Commission/Committee

ADJOURNMENT

THE NEXT REGULAR MEETING OF THE CLAREMONT ARCHITECTURAL AND PRESERVATION COMMISSION WILL BE HELD ON SEPTEMBER 24, 2025 AT 7:00 PM, IN THE CLAREMONT COUNCIL CHAMBER, 225 WEST SECOND STREET.

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT OF 1990, THIS AGENDA WILL BE MADE AVAILABLE IN APPROPRIATE ALTERNATIVE FORMATS TO PERSONS WITH DISABILITIES. ANY PERSON WITH A DISABILITY WHO REQUIRES A MODIFICATION OR ACCOMMODATION IN ORDER TO PARTICIPATE IN A CITY MEETING SHOULD CONTACT THE CITY CLERK AT 909-399-5461 "VOICE" OR 1-800-735-2929 "TT/TTY" AT LEAST THREE (3) WORKING DAYS PRIOR TO THE MEETING, IF POSSIBLE.

I, PEARL JUAREZ, ADMINISTRATIVE ASSISTANT OF THE CITY OF CLAREMONT, CALIFORNIA, HEREBY CERTIFY UNDER PENALTY OF PERJURY THAT THE FOREGOING AGENDA WAS POSTED AT CLAREMONT CITY HALL, 207 HARVARD AVENUE, ON SEPTEMBER 4, 2025, PURSUANT TO GOVERNMENT CODE SECTION 54954.2.

POST THROUGH: September 11, 2025



Claremont Architectural and Preservation Commission

Agenda Report

File #: 5693

Item No: 1.

TO: ARCHITECTURAL AND PRESERVATION COMMISSION
FROM: BRAD JOHNSON, COMMUNITY DEVELOPMENT DIRECTOR
DATE: SEPTEMBER 10, 2025

SUBJECT:

SELECTION OF CHAIR AND VICE CHAIR

RECOMMENDATION

Staff recommends the Architectural and Preservation Commission nominate and select a Chair and Vice Chair.

CEQA REVIEW

This item is not subject to environmental review under the California Environmental Quality Act (CEQA).

PUBLIC NOTICE PROCESS

The agenda and staff report for this item have been posted on the City website and distributed to interested parties. If you desire a copy, please contact Pearl Juarez at pjuarez@claremontca.gov.

Submitted by:

Brad Johnson
Community Development Director



Claremont Architectural and Preservation Commission

Agenda Report

File #: 5692

Item No: 2.

TO: ARCHITECTURAL AND PRESERVATION COMMISSION
FROM: BRAD JOHNSON, COMMUNITY DEVELOPMENT DIRECTOR
DATE: SEPTEMBER 10, 2025

SUBJECT:

ANNUAL TRAINING ON OPEN MEETING LAWS, PUBLIC RECORDS ACT, CONFLICT OF INTEREST RULES, AND CLAREMONT'S ELECTED AND APPOINTED OFFICIALS' HANDBOOK. PRESENTED BY ALISHA PATTERSON, CITY ATTORNEY.

RECOMMENDATION

Staff recommends the Architectural and Preservation Commission receive a presentation from the City Attorney on open meeting laws, public records act, conflict of interest rules, and Claremont's elected and appointed officials' handbook, and ask clarifying questions. The presentation will last approximately 20 minutes.

CEQA REVIEW

This item is not subject to environmental review under the California Environmental Quality Act (CEQA).

PUBLIC NOTICE PROCESS

The agenda and staff report for this item have been posted on the City website and distributed to interested parties. If you desire a copy, please contact Pearl Juarez at pjuarez@claremontca.gov.

Submitted by:

Brad Johnson
Community Development Director



Claremont Architectural and Preservation Commission

Agenda Report

File #: 5668

Item No: 3.

TO: ARCHITECTURAL AND PRESERVATION COMMISSION
FROM: BRAD JOHNSON, COMMUNITY DEVELOPMENT DIRECTOR
DATE: SEPTEMBER 10, 2025

SUBJECT:

ARCHITECTURAL AND PRESERVATION COMMISSION MEETING MINUTES OF JULY 23, 2025

RECOMMENDATION

Staff recommends the Architectural and Preservation Commission approve and file the regular Architectural and Preservation Commission meeting minutes of July 23, 2025.

PUBLIC NOTICE PROCESS

The agenda and staff report for this item have been posted on the City website and distributed to interested parties. If you desire a copy, please contact, Pearl Juarez at pjuarez@claremontca.gov.

Submitted by:

Brad Johnson
Community Development Director

Reviewed by:

Christopher Veirs
Principal Planner

Prepared by:

Pearl Juarez
Administrative Assistant

Attachment:

Architectural and Preservation Commission Meeting Minutes of July 23, 2025

**ARCHITECTURAL AND PRESERVATION COMMISSION
REGULAR MEETING MINUTES**

Wednesday, July 23, 2025 – 7:00 PM

Video Recording is Archived on the City Website

<https://www.claremontca.gov/government/city-council/watch-city-council-meetings>

CALL TO ORDER

Chair Neiuber called the meeting to order at 7:00 p.m.

PLEDGE OF ALLEGIANCE

ROLL CALL

PRESENT

COMMISSIONER: BENNETT, CASTILLO, NEIUBER, PERRY,
SPIVACK

ABSENT

NONE

ALSO PRESENT

Chris Veirs, Principal Planner; Catherine Lin, Senior Planner; Jasmin
Hurtado, Associate Engineer; Pearl Juarez, Administrative Assistant

CEREMONIAL MATTERS, PRESENTATIONS, AND ANNOUNCEMENTS

There were no ceremonial matters, presentations, or announcements.

PUBLIC COMMENT

This item starts at 0:00:58 in the archived video.

Chair Neiuber invited public comment.

Commission Secretary Juarez announced that there were no public comments.

There were no requests to speak.

Chair Neiuber closed public comment.

CONSENT CALENDAR

This item starts at 0:02:48 in the archived video.

Chair Neiuber invited public comment.

There were no requests to speak.

Chair Neiuber closed public comment.

Commissioner Perry requested an amendment to add additional details to his comments regarding the use of trees native to the desert and the high fire character of the shrub palette.

Vice-Chair Castillo moved to approve the Consent Calendar as amended, seconded by Commissioner Perry; and carried on by roll call vote as follows:

AYES: Commissioner – Bennett, Castillo, Neuber, Perry
NOES: Commissioner – None
ABSTENTION: Commissioner – Spivack

1. Architectural and Preservation Commission Meeting Minutes of June 11, 2025
Approved and filed.

PUBLIC HEARINGS

This item starts at 0:05:19 in the archived video.

2. Architectural and Site Plan Review #25-A02, Final Design Review for 55 Single-Family Detached Homes on a 9.58-Acre Site at 2475 Forbes Avenue (La Puerta School Site (APN: 8670-003-900)). Applicant – Taylor Morrison

Principal Planner Veirs presented a PowerPoint presentation. He addressed inquiries from the Commissioners regarding interface between water conservation standards and fire safety, how the MWD easement will work with the existing landscape, the maintenance of the pocket park, if there is an possibility for the HOA to close the pocket park due to safety issues, and if staff could give input on the impacts associated with recent revisions to the fire hazard severity zone maps in the upcoming Emergency Preparedness Committee meeting.

Susan McDowell, Taylor Morrison, presented a PowerPoint presentation about the company. She and the architect addressed Commissioner Spivack's inquiry regarding possible revisions to the current design to the front of the homes.

Chair Neuber invited public comment.

Unidentified speaker, Claremont Resident, expressed her concerns about the one entrance and exit. She suggested there should be at least two ways in and out of the neighborhood.

Unidentified speaker, Claremont Resident, inquired about the height of the trees that will be placed on the southside wall and whether a traffic study would be conducted on Forbes Avenue and Baseline Road.

Unidentified speaker, Claremont Resident, inquired about the planned elevations for the homes, as he is concerned that his views will be blocked. He also asked if the same type of fire hazardous trees (Red Ironbark Eucalyptus Trees) on their side of the street would be removed as well.

Unidentified speaker, Claremont Resident, asked why there is no written record that Claremont Unified School District still owns the western side of the property, and how Taylor Morrison can make a profit by building 55 units.

Unidentified speaker, Claremont Resident, expressed concerns regarding the one entrance and exit, the garages being too small, not enough trees to screen out the lights and noise from the sports park, and not enough fire hydrants.

There were no additional requests to speak.

Chair Neiuber closed public comment.

Principal Planner Veirs responded to questions from public speakers regarding the variety of trees on the south side, the need for more than one entry, whether a traffic study will be conducted, if trees on the other side of the project will also be taken down, written information on the sale to Taylor Morrison, fire and water pressure capacity, and screening of noise and light from the sports park.

Associate Engineer Hurtado responded to public comments regarding the grading plan between the finished floor elevation of the streets that line Forbes Avenue versus the other streets, and whether five feet of fill is coming in and causing a big build-up.

Commissioner Perry stated that he is satisfied with the design and architectural style. He appreciates the attention to detail that Commissioner Spivack addressed regarding the design to the front of the homes. He continued by giving his observations regarding the minimal landscaping opportunity for the homeowners with the amount of shade and small spaces.

Commissioner Spivack expressed her concern regarding the one entry point and suggested the City look into a secondary entrance. She also thinks a pedestrian access on the northern side would be a good emergency exit. Overall, she is happy with the project. She inquired if ready-made shade was an option for trellises.

Commissioner Bennett likes the approach taken with the setbacks to limit vegetation and the materials used to prevent fire from entering under the eaves and into the attic. He thinks they did a good job with the design.

Vice-Chair Castillo likes the variety of elevations, the addition of the pocket park, and the addition of fire sprinklers to the homes, but she is not a fan of the Z-lots. She supports changing the trees' height and would like to see another point of entry. She asked if Staff could add an emergency gate at the northwestern corner.

Chair Neiuber appreciates that the applicant has addressed most of the concerns from the last discussion. He likes the architectural design, the inset windows, and the extension of the eaves. He clarified that this project and the sports park are separate.

Vice-Chair Castillo moved to adopt a RESOLUTION OF THE ARCHITECTURAL AND PRESERVATION COMMISSION OF THE CITY OF CLAREMONT, CALIFORNIA APPROVING ARCHITECTURAL AND SITE PLAN REVIEW #25-A02, FINAL DESIGN REVIEW FOR 55 SINGLE-FAMILY DETACHED HOMES ON A 9.58-ACRE SITE AT 2475 FORBES AVENUE. APPLICANT – TAYLOR MORRISON; and find this item is exempt from environmental review under the California Environmental Quality Act (CEQA). Seconded by Commissioner Spivack; and carried on a roll call vote as follows:

AYES: Commissioner – Bennett, Castillo, Neuber, Perry, Spivack

NOES: Commissioner – None

Chair Neuber announced this decision can be appealed within ten calendar days.

3. Architectural and Site Plan Review #24-A10, Proposed Adaptive Reuse of 251 East Tenth Street and Addition of a New Three-Story Building to House the Psychology and Dance Departments. Applicant – Scripps College

Senior Planner Lin presented a PowerPoint presentation and addressed Commissioner Spivack's inquiry regarding widening the sidewalk size.

Brian Bloom, Scripps College Project Architect, reviewed the project's high-level details. He addressed Commissioner Spivack's inquiry about adding ornamentation to the east elevation of the Balch and Denison Library.

Chair Neuber invited public comment.

There were no requests to speak.

Chair Neuber closed public comment

Commissioner Spivack supports this project. She praised the use of red brick to harmonize the new building with the adjacent Garrison Theater complex.

Commissioner Bennett thinks it is a beautiful design. He likes how the design blends in nicely with the red brick from the Garrison Theater and appreciates the sidewalk that will be added to the east side.

Commissioner Perry thinks the architecture is interesting. He did not have additional comments on the architectural design but made extensive observations regarding the landscaping. He also suggested changes to the tree types and planter spaces.

Vice-Chair Castillo loves the adaptive reuse of the existing art building, the balance between the building and addition, and the artistic components of the design. She is okay with the setback reductions proposed along Columbia Avenue and feels that they are appropriate given the surrounding development of the Scripps College Campus.

Chair Neuber thinks this is a great design. He is also a fan of adaptive reuse. He agrees with Commissioner Perry regarding the suggestion to add taller trees as it will help with the look of the building.

Commissioner Bennett moved to adopt a RESOLUTION OF THE ARCHITECTURAL AND PRESERVATION COMMISSION OF THE CITY OF CLAREMONT, CALIFORNIA, APPROVING ARCHITECTURAL AND SITE PLAN REVIEW #24-A10, FOR THE EXPANSION AND ADAPTIVE REUSE OF 251 EAST TENTH STREET. APPLICANT – SCRIPPS COLLEGE; and find this item is exempt from environmental review under the California Environmental Quality Act (CEQA). Seconded by Vice-Chair Castillo; and carried on a roll call vote as follows:

AYES: *Commissioner – Bennett, Castillo, Neiuber, Perry, Spivack*

NOES: *Commissioner – None*

Chair Neiuber announced this decision can be appealed within ten calendar days.

ADMINISTRATIVE ITEM - None

REPORTS

This item starts at 02:24:03 in the archived video.

Commission/Committee

Commissioner Bennett did not have any updates on the Public Arts Committee.

Staff

Principal Planner Veirs reported on items of interest from the previous City Council meeting and future agenda items.

ADJOURNMENT

Chair Neiuber adjourned the meeting at 9:35 PM.

Chair

ATTEST:

Administrative Assistant



Claremont Architectural and Preservation Commission

Agenda Report

File #: 5669

Item No: 4.

TO: ARCHITECTURAL AND PRESERVATION COMMISSION

FROM: BRAD JOHNSON, COMMUNITY DEVELOPMENT DIRECTOR

DATE: SEPTEMBER 10, 2025

SUBJECT:

**UPDATE ON CITY COUNCIL PRIORITIES AND 2024-26 OBJECTIVES (FUNDING SOURCES:
VARIOUS)**

SUMMARY

After resident requests to conduct a more robust priorities setting process with community input prior to the development of the 2024-26 Budget, staff engaged the Mejorando Group to facilitate a City Council Priorities process. The process included a community survey, three community focus groups, and a City Council workshop.

At the workshop, the City Council reaffirmed the seven existing priorities, which had been previously approved in April 2022. In addition to the seven long-term priorities, the City Council identified 27 objectives that include policies, projects, and programs that staff will work on during the 2024-26 Budget cycle.

The 2024-26 City Council Priorities and Objectives were approved by the City Council at its April 23, 2024 meeting. At that time, the City Council also directed staff to provide biannual updates in January and July of each fiscal year. The attached City Council Priorities Update reflects the status of the City Council Priorities and Objectives for 2024-26.

RECOMMENDATION

Staff recommends the Architectural and Preservation Commission receive and file the update on the 2024-26 City Council Priorities and Objectives.

FINANCIAL REVIEW

The process of updating City Council Priorities was intended to inform the development of the 2024-26 City Budget. In many cases, objectives identified by the City Council required the allocation of funding and/or resources through the budget development process. Accordingly, the financial impacts related to the 2024-26 Council Priorities and Objectives have been accounted for in the City's 2024-26 Budget.

ANALYSIS

In November 2023, the City began a public engagement process to gather community feedback on City Council Priorities. The City conducted a community survey that asked participants for their opinions on City programs and services, priorities for the City Council, and suggestions for improving City operations and programs. Additionally, the City hired Patrick Ibarra of the Mejorando Group to facilitate three community focus group meetings (held in December 2023 and January 2024) and a City Council Priorities Workshop, which was held on January 27, 2024.

At the workshop, the City Council reaffirmed the seven existing Priorities, which had been formally approved in April 2022:

- Preserve Our Natural, Cultural and Historic Resources
- Maintain Financial Stability
- Invest in the Maintenance and Improvement of Our Infrastructure
- Ensure the Safety of Our Community Through Community-Based Policing and Emergency Preparedness
- Increase Livability in Our Neighborhoods and Expand Opportunities for Our Businesses
- Promote Community Engagement Through Transparency and Communication
- Develop Anti-Racist and Anti-Discrimination Policies and Plan to Achieve Community and Organizational Diversity, Equity, and Inclusion

The City Council also requested additional information on several work plan items or “objectives” that it would like to further consider, all of which the City Council provided additional direction on during its March 12, 2024 regular meeting. Based on the direction that has been provided, at its meeting on April 23, 2024, the City Council approved the 2024-26 City Council Priorities and Objectives document, which informed the Budget development process for 2024-26 (July 1, 2024, through June 30, 2026). At that time, the City Council also directed staff to provide biannual updates in January and July of each fiscal year.

The City Council Priorities Update (Attachment) reflects the status of the City Council Priorities and Objectives for 2024-26.

RELATIONSHIP TO CITY PLANNING DOCUMENTS

Staff has evaluated the agenda item in relationship to the City’s strategic and visioning documents and finds that it applies to the following City Planning Documents: Council Priorities, and the 2024-26 Budget.

CEQA REVIEW

This item, a review of existing priorities with no decision being made, is not subject to environmental review under the California Environmental Quality Act (CEQA).

PUBLIC NOTICE PROCESS

The agenda and staff report for this item have been posted on the City website and distributed to interested parties. If you desire a copy, please contact Pearl Juarez at pjuarez@claremontca.gov.

Submitted by:

Brad Johnson
Community Development Director

Attachment:
City Council Priorities Update

CITY OF CLAREMONT CITY COUNCIL PRIORITIES & 2024-26 OBJECTIVES

(Revised July 2025)

Preserve Our Natural, Cultural, and Historic Resources

Council Task or Objective	Department	Status/ Action Taken (through July 2025)	Next Steps (August 2025 through June 2026)
Continue to support and fund Community Based Organizations (CBO).	Recreation & Human Services	<ul style="list-style-type: none"> • CBO grant applications were open from July-August 2024 for the 2025 Funding Year. CBO funding recommendations were made by the Community & Human Services Commission on November 6, 2024 and approved by the City Council on November 26, 2024 for the 2025 Funding Year. A total of 29 grants were awarded. Staff administered the grant contracts with each of the organizations that have been awarded and facilitate the funding process. • Staff and the Community & Human Services Commission 	<ul style="list-style-type: none"> • CBOs submitted their mid-year reports and invoicing for payment in June 2025. Their final reports and invoicing for payment will be submitted in December 2025 for the 2025 Funding Year. • CBO grant applications will be open from July-August 2025 for the 2026 Funding Year. • CBO funding recommendations will be made by the Community & Human Services Commission and will be presented to the City Council for approval in November 2025 for the 2026 Funding Year. • Staff and the Community & Human Services Commission will complete the CBO site visits in May 2026.

		<p>completed the CBO site visits in May 2025.</p>	<ul style="list-style-type: none"> • CBOs will submit their mid-year reports and invoicing for payment in June 2026, for payment by July 1, 2026. • Staff will continue to support and fund CBOs as directed by the City Council.
<p>Continue to support the arts, including potential opportunities to identify a live performing arts space in Claremont.</p>	<p>Administrative Services</p>	<ul style="list-style-type: none"> • Phase 3 Utility Box artists were selected and painting is underway. • In June, the City Council approved the purchase of a sculpture by Vince Skelly for installation at City Hall. • Three community meetings were held for the El Barrio Park mural project. Three finalists will present concepts to the Public Art Committee on September 8, 2025 for final selection. • Staff is evaluating potential live theater venues, including Taylor Hall and the Laemmle Theatre. 	<ul style="list-style-type: none"> • Select a final artist and design for El Barrio Park public art piece in September 2025.
<p>Ensure that the City’s Sustainable City Plan, Urban Forest Management Plan, General Plan, Municipal Code, Tree Policies and Guidelines Manual; internal policies/procedures; and</p>	<p>Community Services</p>	<ul style="list-style-type: none"> • The draft Tree Policies and Guidelines Manual was approved by the Tree Committee on December 18, 2024, and by the Community and Human Services 	<ul style="list-style-type: none"> • Since January staff has worked to implement the new notification process and education outreach programs. • In January, staff was also directed to develop a removal and replacement

<p>staff/contractor qualifications and instructions are all consistent with best urban forest practices and with one another, and are effective in preserving and expanding our City’s Urban Forest, both public and private.</p>		<p>Commission on January 16, 2025. The Tree Committee and Community and Human Services Commission recommendation was to approve the revised draft Manual and forward to the City Council for final approval.</p> <ul style="list-style-type: none"> • The City Council approved the revised draft Tree Policies and Guidelines Manual at the January 28, 2025 City Council meeting. 	<p>program for the pine trees in the Claraboya and Kemper Avenue neighborhoods. Once the removal and replanting program is approved and implemented, the review of other documents will begin to evaluate them for consistency with one another, as well as urban forest best practices.</p>
<p>Focus on environmental, fiscal, and organizational sustainability, including the professional development and retention of City employees.</p>	<p>All Departments</p>	<ul style="list-style-type: none"> • In October 2024, the City Council allocated \$1.78 million in General Fund surplus funds to the City’s Operating and Environmental Emergency Reserve, bringing its balance to 30% of estimated 2026-27 General Fund operating expenditures. • Staff developed a ten-year financial plan, which focuses on long-term financial sustainability. • The Sustainability Committee continues to meet regularly to monitor progress towards 	<ul style="list-style-type: none"> • Staff will continue to evaluate and recommend best practice financial policies in hopes of positively impacting the City’s fiscal sustainability. • Staff resources will continue to be dedicated to the Sustainability Committee.

City Council Priorities & 2024-26 Objectives

		<p>achieving the Claremont Sustainable City Plan.</p> <ul style="list-style-type: none">• The City secured multi-year employment contracts with all employee bargaining units.	
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Maintain Financial Stability			
Council Task or Objective	Department	Status/ Action Taken	Next Steps
<p>Develop and maintain a ten-year financial plan, which focuses on long-term financial sustainability.</p> <ul style="list-style-type: none"> • Long Range Plan will be added to annual budget process and final budget document. • Focus will be on both revenues and expenditures in the General Fund. • Continue to evaluate and recommend best practice financial policies, including reserve balance requirements. 	Financial Services	<ul style="list-style-type: none"> • Staff developed the City’s first Long Range Financial Plan (LRFP) covering the ten-year period of 2025-2034. • City Council received and filed the LRFP at the September 24, 2024 Meeting. • Staff will provide annual updates to the City Council each fall. 	<ul style="list-style-type: none"> • Staff will continue to monitor revenue and expenditure activity and evaluate the assumptions for the General Fund. • An update to the LRFP will be provided in the fall of 2025.
<p>Continue to evaluate and secure revenue enhancement opportunities, such as the potential regulation of short-term rentals and cannabis.</p>	Financial Services & Community Development	<ul style="list-style-type: none"> • Short-Term Rentals (STR) <ul style="list-style-type: none"> ○ The City Council approved an STR Ordinance allowing hosted rentals and prohibiting vacation rentals. ○ The City has begun accepting applications for eligible hosted STRs. Operators will begin remitting Transient Occupancy Tax (TOT) 	<ul style="list-style-type: none"> • Short-Term Rentals (STR) <ul style="list-style-type: none"> ○ Staff continues implementing the STR Ordinance and will pursue enforcement against operators in violation of the Ordinance. • Cannabis <ul style="list-style-type: none"> ○ Both the zoning and regulatory ordinances will be presented to the City Council for consideration on July 22, 2025.

		<p>once permitted and operational.</p> <ul style="list-style-type: none"> • Cannabis <ul style="list-style-type: none"> ○ Staff presented the cannabis zoning ordinance to the Planning Commission, which made a negative recommendation to the City Council due to a lack of consensus. ○ Staff has developed a corresponding cannabis regulatory ordinance to allow a limited number of cannabis retail storefront businesses. 	
<p>Monitor options for funding, controlling, or reducing current and future pension costs, as well as unfunded liabilities.</p>	<p>Financial Services</p>	<ul style="list-style-type: none"> • In October 2024 the City Council allocated \$1.25 million from the 2023-24 General Fund Surplus, combined with \$600,000 already budgeted, for a combined \$1.85 million additional discretionary payment towards the City’s unfunded pension liability with CalPERS. At the same meeting, the City Council 	<p>Continue to budget for additional discretionary payments to CalPERS and use one-time surplus funds when opportunities arise.</p>

City Council Priorities & 2024-26 Objectives

		<p>authorized an additional \$1.0 million deposit to the City's Section 115 Pension Trust.</p> <ul style="list-style-type: none">• The 2024-25 budget includes \$600,000 for an additional discretionary payment towards the unfunded pension liability with CalPERS.	
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Invest In The Maintenance And Improvement Of Our Infrastructure

Council Task or Objective	Department	Status/ Action Taken	Next Steps
Maintain cleanliness of business districts, parks, transportation facilities, public rights of way, street signs, public restrooms, and public spaces.	Community Services	Staff have been assigned to regularly clean, pressure wash, and monitor different locations within the City, focusing attention on the cleanliness of the Village. Staff contracted with a new Park Restroom Janitorial company to improve park restroom cleanliness.	Staff will continue to be assigned and clean the locations in and around business areas, evaluating these locations for enhanced cleaning as necessary.
Develop a Park Facilities Improvement Plan by December 31, 2024. The Plan will: (i) assess the age and condition of park facilities, (ii) prioritize park facility improvements, (iii) identify current and future sources of funding for proposed park facility improvement, and (iv) outline a public engagement process for the development of park facility improvement projects. Concurrent with the development of the Park Facilities Improvement Plan, staff will engage the community in the development of a proposal for the	Community Services	<ul style="list-style-type: none"> Lewis Park was reopened on March 22 with a brief ceremony. The Park Facilities Improvement Plan was adopted by the City Council on May 13, 2025. 	Staff will implement the Park Facilities Improvement Plan as adopted.

<p>improvement of the playground at Lewis Park.</p>			
<p>Explore options to relinquish ownership of the Blaisdell Ranch Preserve to the Blaisdell Ranch Homeowners Association.</p>	<p>Administrative Services</p>	<p>On October 8, 2024, the City Council received a report from the City Attorney regarding anticipated requirements to relinquish the Blaisdell Ranch Preserve to the Blaisdell Ranch Homeowners’ Association (HOA). The City Council directed staff to identify cost estimates for potentially relinquishing the City’s easement and to ensure that the Blaisdell Ranch HOA is aware of the process.</p>	<p>Staff has met with representatives from the Blaisdell Ranch HOA and provided an update on the steps necessary for the relinquishment to take place. The HOA board has discussed their options and communicated to the City that they are interested in exploring the relinquishment further. Staff will return to the City Council with an update prior to the end of the year, seeking direction on whether the City Council wants to proceed with the relinquishment, and if so, how the costs of the relinquishment process will be shared by the City and the Blaisdell Ranch HOA.</p>
<p>Ensure availability of modern technology for businesses and residents, and pursue options to address the cell service issues in some geographical areas within Claremont.</p>	<p>Administrative Services</p>	<ul style="list-style-type: none"> • The City has implemented a scalable and secure network infrastructure to improve communication, enhance data accessibility, and boost operational efficiency across all departments. This will ultimately enable our staff to serve the public more effectively. • Community Development is working with a provider to construct a new tower at 550 E Base Line Road (behind 	<ul style="list-style-type: none"> • Monitor network performance to identify issues and optimize the system's speed, reliability, and scalability. • Conduct regular security audits, penetration testing to maintain government regulations and compliance and ultimately ensure data security. • Continue work with cell service providers in hopes of addressing issues that are experienced in some geographical areas within Claremont.

		<p>Vons). This tower was approved a few years ago but not constructed. The provider is working with staff to make a few minor modifications to the design and hopes to construct the facility this year.</p> <ul style="list-style-type: none">• Community Development approved a minor modification to an existing tower on Auto Center Drive (south of Super King).• City staff has been working to identify a provider to install a cell site on or around the Wilderness Park parking lots, to improve coverage in the areas adjacent to the foothills.• City staff has been working with a provider that has been looking at developing a new facility at Padua Avenue Park. Staff has provided supportive comments regarding the preferred design and location, and is currently awaiting a formal proposal from the provider.	
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City Council Priorities & 2024-26 Objectives

		<ul style="list-style-type: none">• All of these cell tower enhancements are intended to improve wireless communication infrastructure in the City.	
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Ensure the Safety of Our Community Through Community-Based Policing and Emergency Preparedness

Council Task or Objective	Department	Status/Action Taken	Next Steps
<p>Assess traffic calming measures including street infrastructure and design, as well as additional enforcement by the Police Department.</p>	<p>Police & Community Development</p>	<ul style="list-style-type: none"> The Police Department was awarded a grant from the California Office of Traffic Safety in the amount of \$140,000. The grant funds allow for additional enforcement in areas of the City based on primary collision factors as well as additional DUI enforcement. Mountain Avenue Complete Streets design has been substantially completed, to include traffic calming features. This item was presented to the Traffic and Transportation Commission. Since construction funding for complete streets projects is not available, staff have researched funding options and applied for the SB1 Local Partnership Program in 	<ul style="list-style-type: none"> Continue to conduct additional enforcement operations within the City when possible. Identify potential funding sources/grant opportunities to complete the Mountain Avenue Complete Streets project. Engineering staff is moving forward with completing the bid package for the Russian Village Traffic Calming project. It is anticipated that the project will be advertised this summer so that construction can begin in the fall. A neighborhood meeting was recently conducted regarding the Arrow Highway (Indian Hill to Cambridge) and Cambridge (Arrow Highway to Bonita Avenue) Complete Streets project. Staff will share feedback with the consultant. 60% plans will be completed in the

		<p>November 2024, asking for \$7,626,790 to construct this project. Unfortunately, the City did not receive this grant and identifying other available funding sources/grant opportunities will be necessary.</p> <ul style="list-style-type: none"> • Russian Village Traffic Calming project design plans are being finalized. This item was presented to the Traffic and Transportation Commission. • Arrow Highway (Indian Hill to Cambridge) and Cambridge (Arrow Highway to Bonita Avenue) Complete Streets project, which includes the Arrow/Bucknell traffic signal design continues to forward with the SGVCOG taking the lead. • The Towne Avenue Complete Streets Project has been finalized. The project includes traffic calming measures such as travel lane narrowing, Class II and Class IV bike lanes, green bike paint markings, including bike boxes, 	<p>fall and will be presented to the TTC with final design completed by January 2026.</p>
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		<p>landscaping and entry monuments.</p>	
<p>Actively promote alternative uses of streets including bicycles, walking, and scooters, including:</p> <ul style="list-style-type: none"> • Identifying funding and resources to complete pending Capital Improvement Projects (i.e., South Indian Hill Blvd. and San Jose Ave.) • Developing a comprehensive Active Transportation Plan to prioritize projects and allocate funding citywide. 	<p>Community Development & Administrative Services</p>	<ul style="list-style-type: none"> • A Local Road Safety Plan (LRSP) was completed to identify priority locations impacted by collision patterns. This plan was completed in August 2024 with the purpose of creating funding eligibility for future safety grants. • Arrow Highway (Indian Hill to County Line) grant application submitted through the SGVCOG requesting up to \$6,000,000 for complete streets improvements. This grant was submitted in November 2024. • Indian Hill Boulevard and San Jose Corridors: A SS4A grant application was submitted in August 2024, seeking \$1,400,000 in grant funds to prepare a complementary safety plan for these corridors. Unfortunately, this grant was not funded. Staff requested to debrief with grant administrators to get feedback on the application, 	<ul style="list-style-type: none"> • Recommendations from the LRSP are being considered for incorporation into the design of upcoming capital improvement projects. • Staff will continue to work with the consultant of the active transportation improvements for Arrow Highway (Indian Hill to Cambridge) and Cambridge (Arrow to Bonita). Additional grant funding in the amount of approximately \$4,000,000 is being recommended for allocation to supplement the project. Staff will be working with Metro amending the MOA to include the additional funding. • The LA County Board of Supervisors approved the transfer of \$1,000,000 to supplement the Arrow Highway undergrounding project. Edison is currently working on an updated cost estimate. Edison will also be moving forward with project design. It is estimated that construction will take place in 2027. • Staff is currently coordinating with ALTA Planning to implement the Active Transportation Plan scope or

		<p>receiving encouraging feedback to re-apply.</p> <ul style="list-style-type: none"> • Staff has re-applied for the new SS4A grant in June, for a Complementary Safety Plan and Strategies for Indian Hill (Arrow to San Jose) and San Jose (Mills to Mountain Avenues) to further evaluate and expand recommendations from the LRSP. • Rule 20 Arrow Highway undergrounding of utilities from Indian Hill to Villanova to improve accessibility. LA County has committed to allocate additional \$1,000,000 in Rule 20 funds to supplement the City’s allocation. • Active Transportation Plan (ATP): staff is currently reviewing proposed ALTA Planning scope of work to move forward the preparation of the Plan. 	<p>work and to start scheduling the public outreach efforts.</p>
<p>Continue to pursue improvements to the existing Police Department facility.</p>	<p>Police & Administrative Services</p>	<ul style="list-style-type: none"> • Staff is in the process of reviewing bids for the Women’s Locker Room project and is hopeful that 	<ul style="list-style-type: none"> • By the end of July, work is being planned to coordinate with SCE and two vendors to install new circuits at the PD, which will bring the solar

		<p>groundbreaking will occur by the end of 2025.</p> <ul style="list-style-type: none"> • The Dispatch Center was completed and the dispatchers have moved back into the location. Along with the new Dispatch Center, staff has installed all new radios and implemented a new CAD RMS system. • The PD's new 9-1-1 system is moving forward and testing at the State lab is on-going. Once the system passes State parameters, staff can upload the software and begin reaping the benefits of the new system. • One of the modular buildings received new technology and tables, chairs and mats to become a training room both for traditional classes/computer terminals as well as a location to train in self-defense and other skills. • Schematic Design for Phase 2A (Mechanical, Electrical, and Plumbing) of the Seismic and Safety Upgrades were completed. 	<p>panels on-board. The solar panels will produce energy and store excess in the battery system.</p> <ul style="list-style-type: none"> • Staff will also be installing the new circuit for the PD's Uninterrupted Power Supply (UPS). In the event of a power outage, if a delay occurs with the battery backup from the solar panels, then the UPS will cover the gap and maintain radios in working order. • Staff will work to get a rough order of magnitude (ROM) for Phase 2 and enter into a new agreement with Risha Engineering to completed Phase 2B, which includes design development and the preparation of construction documents.
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<p>Proactively address criminal activity related to human trafficking and connect any victims to appropriate resources.</p>	<p>Police</p>	<p>The PD sent two Officers to Florida for an ICAC (Internet Crimes Against Children) for a convention hosted by the National Criminal Justice Training Center to learn the newest techniques child predators are using to lure children on-line and counter measures to find, obtain evidence and make a case against suspects.</p>	<ul style="list-style-type: none"> • Continue undercover operations related to prostitution/human trafficking. • Develop more comprehensive resources to aid victims of human trafficking.
<p>Continue to evaluate nuisance activity occurring in and around local motels and use a collaborative approach to abate the activity via the City’s Interdepartmental Team.</p>	<p>Police, Administrative Services & Community Development</p>	<ul style="list-style-type: none"> • The City’s Interdepartmental Team (CIT) continues to meet regularly and publish updates regarding hotel and motel activity. Additionally, the second Annual Hotel/Motel Ordinance Update was presented to the City Council in February 2025. • In response to requests from hotel/motel operators, on February 11, 2025, the Claremont City Council adopted an urgency ordinance that temporarily suspends parts of the City’s Hotel/Motel Ordinance that are interfering with the hotels’ and motels’ ability to rent rooms to individuals and families who 	<ul style="list-style-type: none"> • Effective June 10, 2025, Citizen Representative Wendy Ramallo has resigned from the CIT. Staff is in the process of recruiting for a new CIT Citizen Representative. • The 2025 Third Quarter CIT Report will be published on the City website in October.

		<p>were displaced by the LA County wildfires. Staff has been monitoring to ensure that no new criminal or nuisance issues arise as a result of the urgency ordinance being adopted.</p> <ul style="list-style-type: none"> • Staff conducted voluntary inspections of all Claremont hotels/motels in March 2025 to ensure Ordinance requirements are being met. • The 2025 Second Quarter CIT Report was published on the City website on July 15, 2025. 	
<p>Evaluate safety improvements to Claremont Hills Wilderness Park; invest in a feasibility plan and potential funding sources to enhance available parking; and pursue access to Evey Canyon.</p>	<p>Recreation & Human Services</p>	<p>Staff is working with a consulting engineering firm to determine which locations may be feasible for construction of a parking facility.</p>	<p>Staff will review the consultant’s study and make recommendations on which feasible areas, if any, may require more in-depth analysis.</p>
<p>Continue to evaluate citywide emergency preparedness and response efforts.</p>	<p>All Departments</p>	<ul style="list-style-type: none"> • The City has activated its Emergency Operations Center (EOC) when faced with the need for potential emergency response, such as during the Bridge Fire and the January 2025 winds/fires throughout Los Angeles County. Staff also utilizes multiple communication tools to share 	<ul style="list-style-type: none"> • Staff will continue to evaluate citywide emergency preparedness and response efforts, including EOC activations when warranted, staff training, and informing the public of best practices regarding emergency preparedness. • It is anticipated that the Emergency Preparedness Ad Hoc Committee will present recommendation(s) to the

		<p>real-time information with the public before, during, and after a potential emergency.</p> <ul style="list-style-type: none"> • In March 2025 the City Council held a public workshop to discuss emergency preparedness protocols, including coordination with first responder agencies and utility companies. • Mayor Calaycay created an Emergency Preparedness Ad Hoc Committee to review the City's Emergency Management policies and practices and make recommendations for future emergency preparedness measures. 	<p>City Council by the end of calendar year 2025.</p>
<p>Work directly with surrounding agencies, including task forces, to address criminal issues impacting the shared local areas, and consider assigning a Police Officer to these task forces.</p>	<p>Police</p>	<p>CPD participated in a two week operation with Upland and Montclair Police Departments in "Operation Spring Cleaning," where 13 arrests were made. This Operation targeted predators committing internet crimes against children. This Operation was comprised of 26 teams with 35 different police agencies and made 265 arrests in this two week period.</p>	<p>Continue to work directly with surrounding agencies, including task forces, to address criminal issues impacting the shared local areas.</p>

Increase Livability In Our Neighborhoods And Expand Opportunities For Our Businesses

Council Task or Objective	Department	Status/Action Taken	Next Steps
<p>Continue to explore and promote resources for people experiencing housing instability and/or displacement, including:</p> <ul style="list-style-type: none"> • The feasibility of implementing a Claremont Rental Registry and rent stabilization; • Provide rental assistance/incentives to eligible property owners and tenants through the Claremont Temporary Housing Stabilization and Relocation Program; • Consider adding self-governing “anti-harassment” language to the City’s Just Cause Eviction Ordinance; and • Consider funding “dispute resolution” and/or “mediation” services to 	<p>Administrative Services/ Recreation & Human Services</p>	<ul style="list-style-type: none"> • On February 11, 2025 the City Council voted to maintain the Claremont Temporary Housing Stabilization and Relocation Program through Program Cycle 4 and re-evaluate the program once the Los Angeles County Affordable Housing Solutions Agency (LACAHS) produces a program budget for a permanent rental assistance program using Measure A funds, which would be administered at a regional level. • Staff continues to process applications for Program Cycle 3 (7/1/25 – 6/30/26). Staff anticipates that after August payments are processed, approximately \$680,000 of the \$1.68 million budget will remain. Due to the high demand for the program, staff anticipates that current funding sources will be 	<ul style="list-style-type: none"> • By the end of calendar year 2025, staff will present a funding update on the Claremont Temporary Housing Stabilization and Relocation Program and at that time, will request additional direction from the City Council. • Staff will continue to disseminate information to landlords and tenants regarding the City’s ordinances as well as relevant third-party resources that are available to landlords and tenants through LA County and other agencies. • Staff will also continue to work with Tri-City Mental Health and our Tri-City Community Navigator to provide resources, case management and shelter options for those experiencing housing instability and/or displacement.

<p>address landlord/tenant disputes.</p>		<p>exhausted by the end of Program Cycle 3.</p> <ul style="list-style-type: none"> • On February 11, 2025, the City Council voted not to pursue a contract for third-party dispute resolution/mediation services, since Los Angeles County already offers these services. • On May 13, 2025, the City Council against the establishment of a Claremont Rental Registry. • After conducting two public listening sessions, the City Council adopted an ordinance that prohibits harassment in rental housing on May 27, 2025. 	
<p>Undertake deliberate planning for the development of the Foothill Boulevard and Monte Vista Avenue area, and work with Los Angeles County or the City of Upland to promptly adopt the most recent Cable Airport Land Use Compatibility Plan and incorporate it into our General Plan and Municipal Code.</p>	<p>Community Development</p>	<p>In December 2024, the City processed a subdivision map to split the Armstrong Nursery site into a separate parcel and purchased the remaining 6.7-acre vacant area under the ownership of Clare Properties, excluding the 3-acre parcel located in the City of Upland. The staff has stayed in regular communication with the County of Los Angeles on the work necessary to adopt the most recent Cable Airport Land Use Compatibility Plan (ALUCP). The ALUCP plan project</p>	<ul style="list-style-type: none"> • Now that the City of Claremont holds ownership of the majority of the land area near the City’s entrance, the City will have more control over planning efforts rather than relying on private property ownership to propose additional projects. The City will continue to coordinate with the City of Upland as the corner parcel is a key component of this planning effort. • LA County Regional Planning has approved the contract with the contractor, Mead & Hunt, to revise

		was recently re-assigned to another LA County Planning Division due to impacted workloads in the ALUCP Division.	the airport land use compatibility plan to include the LA County side of the plan. The County held a kickoff meeting at the beginning of July and the research and data collection process has started. The timeline for completion is expected to be 12 months. This will include outreach to property owners and stakeholders on the LA County side of the plan area. Community Development staff will be involved in coordinating and attending outreach meetings during this process.
Conduct outreach to businesses throughout the city with attention given to businesses outside the Village.	Administrative Services	Staff maintains an email notification system for all businesses with a business license in Claremont and sends information and bulletins with information on news and opportunities related to businesses. City staff has been actively working with businesses in the southern section of Claremont to address issues of concern for the businesses and neighborhood.	<ul style="list-style-type: none"> • Staff will continue to reach out to all businesses through existing communication channels and through the new Gov Delivery digital communication system, which launched in February. • Staff sends information to all Business License contact on business matters and City programs.
Consider options to repurpose and provide affordable housing, and engage in discussions with The Claremont Colleges, Claremont Unified School District,	Community Development	<ul style="list-style-type: none"> • On September 10, 2024, the City received final state certification of its 6th Cycle Housing Element, which includes providing an adequate number of sites for 	<ul style="list-style-type: none"> • Staff will continue to implement the various housing-related programs outlined in the 6th Cycle Housing Element in a timely and effective

<p>and other regional partners to explore the need for workforce housing.</p>		<p>all levels of housing affordability, as outlined in the City’s Regional Housing Needs Assessment.</p> <ul style="list-style-type: none"> • Staff processed ministerial preliminary plan approvals for two new 100% affordable housing developments in the fourth quarter of 2024. The Mercy House development includes 74 units of veteran “head of household” rental units at Towne/Foothill. National Core includes 59 senior 62+ rental units at Bonita/Mountain. Both projects include some units set aside for permanent supportive housing (PSH). • Staff have been performing Building and Engineering Division inspections for the 33-unit Larkin Place PSH development currently under construction adjacent to Larkin Park on Harrison Avenue. • Staff has been in preliminary discussions with The Claremont Colleges Services, Inc. (TCCS) about the Colleges moving forward with master planning of multiple College or TCCS-owned properties along Foothill Blvd 	<p>manner, including submitting an annual progress report to the State.</p> <ul style="list-style-type: none"> • Staff will continue to reach out to the Claremont Colleges and CUSD to explore the need for workforce housing. • Staff will continue to meet with the faith-based organizations in town to provide resources for organizations that desire to provide affordable housing on their faith-based properties. • Staff will continue to work with affordable housing developers and property owners, submitting housing proposals and constructing new affordable housing units. • Staff will coordinate with the Olson Company to implement their inclusionary housing plan for escrow to close on the four low-income priced townhomes. • Staff will work with City Ventures to review and approve their inclusionary housing plan for American Ave.
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		<p>and Indian Hill Blvd., which could include workforce housing.</p> <ul style="list-style-type: none">• Staff has had preliminary discussions with several faith-based organizations interested in developing affordable housing on their parcels.• Staff is working with the Olson Company to begin the lottery system for selection of potential low-income households to purchase four low-income priced homes in their townhome development located on Foothill Blvd at Towne Ave.• Staff is working with City Ventures to complete their required inclusionary housing plan for their 70 Unit townhome project on American Ave.	
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Promote Community Engagement Through Transparency And Communication			
Council Task or Objective	Department	Status Action/Taken	Next Steps
Explore costs and feasibility of providing City communication/marketing materials in various languages.	Administrative Services	With the launching of the new City website, information is available in multiple languages on the web browser. Website visitors can select the language they prefer.	Staff will continue to provide information in multiple languages on the City’s website and on targeted mailers and flyers.
Utilize technology for communicating with the public.	Administrative Services	<ul style="list-style-type: none"> • Staff launched Engage Claremont, a communication platform for special projects and educational campaigns in December 2024. • Staff rolled out the new Gov Delivery System for email newsletters and notifications. On February 6, 2025, staff launched a new City Manager Weekly format through the GovDelivery System. Staff is using the system to send topic specific emails like non-emergency tree removals. 	Staff will be launching a video series on City Council and Commissions with the first two videos scheduled to launch in July.
Help educate our community on “how to” participate in the public process.	Administrative Services	The City launched a new website on December 12, 2024 with pages dedicated to educating the public on participating in the government process and new forms to submit comments for public meetings.	Staff will be launching a video series on City Council and Commissions with the first two videos scheduled to launch in July.

Develop Anti-Racist, Anti-Discrimination Policies And Plan To Achieve Community And Organizational Diversity, Equity And Inclusion

Council Task or Objective	Department	Status/Action Taken	Next Steps
<p>Continue to work with CPS HR Consulting to conduct community involvement and outreach; DEI trainings for City employees and Councilmembers; and related consulting services.</p>	<p>Administrative Services</p>	<p>CPS HR experienced significant staff turnover in 2024, which delayed planned DEI training for City employees and City Councilmembers. CPS HR is now fully staffed and kicked off its staff training curriculum in February 2025. To date, four executive team trainings have been completed and four Lunch & Learn sessions have been held for all employees.</p>	<ul style="list-style-type: none"> • Additional executive team trainings and Lunch & Learns are scheduled through the end of calendar year 2025. • City Councilmember training will be scheduled for fall 2025.



Claremont Architectural and Preservation Commission

Agenda Report

File #: 5687

Item No: 5.

TO: ARCHITECTURAL AND PRESERVATION COMMISSION
FROM: BRAD JOHNSON, COMMUNITY DEVELOPMENT DIRECTOR
DATE: SEPTEMBER 10, 2025

SUBJECT:

ARCHITECTURAL AND SITE PLAN REVIEW #24-A06, REVIEW OF EXTERIOR REMODEL TO AN EXISTING COMMERCIAL BUILDING IN THE CLAREMONT VILLAGE LOCATED AT 212 NORTH YALE AVENUE - APPLICANT - DARLENE MARTINEZ

SUMMARY

The applicant, Darlene Martinez, who owns the property, is requesting approval for Architectural and Site Plan Review #24-A06 for an exterior remodel to the existing 2,195 square foot, single-story commercial building, located at 212 North Yale Avenue in the Claremont Village (CV) zoning district. The proposal includes a proposed exterior remodel of the commercial building, including new paint, siding, exterior lighting fixtures, and windows consistent with the existing architectural style, which can be found in Attachment B. The existing commercial building was built in 1925 and while identified as a contributing building in the Village Design Plan, it is not listed on the City's Register of Structures of Historic and Architectural Merit (Register).

Staff finds the proposed exterior remodel to be consistent with the Claremont Municipal Code (CMC), General Plan, and Village Design Plan, and that all the required architectural and site plan review criteria can be made.

RECOMMENDATION

Staff recommends the Architectural and Preservation Commission:

- A. Adopt a RESOLUTION OF THE ARCHITECTURAL AND PRESERVATION COMMISSION OF THE CITY OF CLAREMONT, CALIFORNIA, APPROVING ARCHITECTURAL AND SITE PLAN REVIEW #24-A06, FOR THE RENOVATION OF THE EXTERIOR FACADES OF THE EXISTING COMMERCIAL BUILDING LOCATED AT 212 NORTH YALE AVENUE APPLICANT - DARLENE MARTINEZ; and
- B. Find this item is exempt from environmental review under the California Environmental Quality Act (CEQA)

ALTERNATIVES TO RECOMMENDATION

In addition to the recommendation, there are the following alternatives:

- A. Continue the item for additional information.
- B. Approve the project with additional or revised Conditions of Approval.
- C. Express an intent to deny the proposal in its entirety, specifically identifying the findings of Section 16.300.060.A of the Claremont Municipal Code that cannot be met, and continue the item to September 24, 2025, for adoption of a denial resolution.

FINANCIAL REVIEW

Costs associated with the review of this application have been borne by the applicant.

ANALYSIS

Background

The project site is a rectangular property of approximately 4,855 square feet located near the northeast corner of Yale Avenue and West 2nd Street. The property is located in the Claremont Village Overlay (CVO) zoning district, which is intended to encourage a complementary mix of small-scale retail stores, commercial services, restaurants, offices, and civic uses within a small-town, pedestrian-oriented district. The property has a corresponding General Plan designation of Claremont Village. Located in the heart of the Village, adjacent uses include The Verbal Building (Pizza N Such to the south) and the Folk Music Center to the north. Additional surrounding uses across Yale Avenue include Starbucks, the Claremont Chamber of Commerce and 42nd Street Bagel. The site is developed with a well-maintained 2,195-square-foot white stucco building, originally built in 1925.

Like many of the buildings on this block of Yale Avenue (between Bonita and Second), this building has been remodeled over time and has lost most, if not all, of its original architectural features. The original storefront of the building was modified with stucco panels and green ceramic tile on the three structural piers sometime in the 1950s or 1960s. The remodel removed all the original windows and covered the original façade materials, which were brick or glazed brick façade. In 1991, another remodel was completed which retained the existing green tile but removed the stucco panels. The remodeled façade incorporated elements used in the historic design, such as transom windows, awnings, a recessed entry door, and a two-bay façade. The existing building reflects the changes made in this 1991 remodel. Lastly, though not listed in the City's Register of Sites of Historic or Architectural Merit, the building is still identified as a contributing building in the Architectural Quality Map of the Village Design Plan.

Earlier this year, the applicant applied for, and was granted approval of, a more ambitious remodel that included the addition of second floor residential use. The second floor proposal is no longer being pursued by the applicant. The applicant has also submitted a separate application for signage at this property, which is being reviewed at the staff level based on the City's sign code review responsibilities for non-illuminated, building-mounted signs.

Project Description

The proposed project consists of an exterior remodel to the Yale Avenue storefront façade of an existing commercial building located within the Claremont Village (CV) District. The scope of work includes the following:

- Installation of new brown fabric awnings positioned above the transom windows along the western storefront façade.
- Replacement of the existing stucco and green tile siding with Nero Brown brick rustico tile siding laid in a horizontal pattern. This is a high quality ceramic tile with a flat finish and mottled color blend.
- Restoration of a secondary entryway on the western façade, including the installation of new aluminum-framed transom windows and black-framed glass entry doors. Current wood frames are painted green and white in color.

The subject property is located within Area I of the Claremont Village Design Plan (VDP), identified as the Central Commercial Core. The Design Plan recommends that first floors maintain the established pattern of storefront display windows, a feature incorporated into this remodel. The proposal restores an existing recessed doorway that had been modified into a window and removes green ceramic tile that was added in a recent remodel and replaces it with an attractive, high-quality tile. The property is further classified as a Building Type I, characterized by a prominent parapet wall and an integrated permanent canopy that create a traditional commercial storefront. These defining elements are reflected in and carried forward through the proposed design. Overall, the remodel includes a simple design with a limited number of materials that harmonize well with adjacent buildings and are consistent with the design objectives and guidelines set forth in the Village Design Plan.

The project is limited to surface material façade improvements only. No building additions, expansions, or modifications to the roofline, massing, or site layout are proposed. Signage for the storefront is not part of this application and will be reviewed separately under a staff-level sign permit.

The proposed improvements are designed to enhance the architectural character of the building while maintaining consistency with the pedestrian-oriented storefronts of the Claremont Village. The chosen materials and color palette are durable, high-quality, and compatible with surrounding structures, ensuring that the remodel contributes positively to the visual cohesion of the district.

The project also complies with all applicable development standards of the Claremont Village (CV) zoning district as outlined in Section A of the Draft Resolution (Attachment A). Detailed project plans, including color and material samples, are provided in Attachment B.

Parking

The subject property currently has seven parking spaces, which is the correct number of spaces required for the use however, the stalls are substandard in size. Pursuant to Government Code Section 65863.2(a), a “public agency shall not impose or enforce any minimum automobile parking requirement on a residential, commercial, or other development project if the project is located within one-half mile of public transit.” 212 North Yale Avenue is located 0.2 miles from the Claremont Depot with bus and train services. For this reason, minimum parking requirements cannot be enforced as a requirement for the proposed exterior remodel. Nonetheless, following a tenant improvement proposal through the Building Division, the property will maintain five standard stalls and one new ADA standard stall on site. Though parking onsite continues to be substandard, additional parking cannot be required.

Basis for Recommendation

Staff finds that the proposal satisfies all of the architectural design review criteria listed in CMC Section 16.300.060.A for all of the reasons stated in the draft approval resolution. The proposed project exterior design details will bring defined and period-appropriate styling to the home while using contemporary materials and finishes. It will also improve the property's relationship with the street and enhance the ability of the building to contribute to the character of the surrounding Claremont Village. The proposed remodel is designed appropriately by incorporating quality details, materials, and colors that are generally consistent with the styling and scale of adjacent buildings in the Village. As such, the staff recommends that the Architectural and Preservation Commission approve the proposed design, subject to the conditions of approval contained in the draft resolution.

CEQA REVIEW

This proposal is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) under Section 15301(e), in that the project consists of renovations to an existing structure. Though not explicitly listed on the Claremont Register of Structures of Historic or Architectural Merit, the building is identified as a contributing building in the Village Design Plan and therefore the proposed remodel has been designed to be closely consistent with the original structure's architecture, which has been significantly altered over the years, and as such, will not cause a substantial adverse change in the building's significance in the context of the Village. The exterior renovation is designed to complement existing architectural features and would notably improve the ability of the structure to contribute to the historic character of the Claremont Village. Therefore, no further environmental review is necessary.

PUBLIC NOTICE PROCESS

This agenda and staff report for this item has been posted on the City website and distributed to interested parties. If you desire a paper copy, please contact Pearl Juarez at pjuarez@claremontca.gov.

As a courtesy, notice of this meeting was mailed to properties adjacent to the subject property on August 28, 2025. A copy of this report has been sent to the applicant and other interested parties.

Submitted by:

Brad Johnson
Community Development Director

Prepared by:

Jordan Goose
Assistant Planner

Reviewed by:

Christopher Veirs
Principal Planner

Attachments:

A - Draft Resolution
B - Proposed Plan Set

RESOLUTION NO. 2025-

A RESOLUTION OF THE ARCHITECTURAL AND PRESERVATION COMMISSION OF THE CITY OF CLAREMONT, CALIFORNIA, APPROVING ARCHITECTURAL AND SITE PLAN REVIEW #24-A06, FOR THE RENOVATION OF THE EXTERIOR FACADES OF THE EXISTING COMMERCIAL BUILDING LOCATED AT 212 NORTH YALE AVENUE APPLICANT: – DARLENE MARTINEZ

WHEREAS, on July 24, 2024, the applicant filed a request for a proposed exterior remodel to the existing 2,195-square foot single-story commercial building located at 212 North Yale Ave; and

WHEREAS, the subject property is identified as a contributing building in the Village Design Plan, though it is not listed on the City's Register of Structures of Historic and Architectural Merit (Register); and

WHEREAS, on August 28, 2025, a notice of public hearing regarding the Architectural and Preservation Commission review of the design of the proposed façade renovation was mailed to surrounding property owners and residents in the vicinity of the subject site; and

WHEREAS, the Architectural and Preservation Commission held a public hearing on September 10, 2025, at which time all persons wishing to testify in connection with the revised proposal were heard and said proposal was fully studied.

NOW, THEREFORE, THE CLAREMONT ARCHITECTURAL AND PRESERVATION COMMISSION DOES HEREBY RESOLVE:

SECTION 1. The Architectural and Preservation Commission has determined that the proposal is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) under Section 15301(e), in that the project consists of renovations to an existing structure. Though not explicitly listed on the Claremont Register of Structures of Historic or Architectural Merit, the building is identified as a contributing building in the Village Design Plan and therefore the proposed remodel has been designed to be closely consistent with the original structure's architecture, which has been significantly altered over the years, and as such, will not cause a substantial adverse change in the buildings significance in the context of the Village. The exterior renovation is designed to complement existing architectural features and would notably improve the ability of the structure to contribute to the historic character of the Claremont Village. Therefore, no further environmental review is necessary.

SECTION 2. The Architectural and Preservation Commission finds that the review criteria of Section 16.300.060.A of the Claremont Municipal Code (CMC) can be met in regard to the above-described project as follows:

A. **Conformity with Development Standards** – The proposed exterior remodel is in conformity with all development standards for the Claremont Village zoning district as follows:

1. **Setbacks:** No setbacks are required in the Claremont Village zoning district unless the lot abuts a residential district, which is not the case for the subject

property. The existing building is built out to the front and side property lines. The project does not modify the building's setbacks; including the rear setback where the existing parking lot is located.

2. **Building Height:** The existing building is one story tall and has a maximum height of eighteen feet to the top of the parapet, which is less than the maximum allowable height of forty feet.
3. **Parking:** The subject property currently has seven parking spaces which is the correct number of spaces required for the use however, the stalls are substandard in size. Pursuant to Government Code Section 65863.2(a), a "public agency shall not impose or enforce any minimum automobile parking requirement on a residential, commercial, or other development project if the project is located within one-half mile of public transit." 212 North Yale Avenue is located 0.2 miles from the Claremont Depot with bus and train services. For this reason, minimum parking requirements cannot be enforced as a requirement for the proposed exterior remodel. Nonetheless, following a tenant improvement proposal through the Building Division the property will maintain five standard stalls and one new ADA standard stall on site. Though parking onsite continues to be substandard, additional parking cannot be required.

B. General Plan Consistency – The proposed addition is consistent with the following goals/policies of the Claremont General Plan:

1. *Promote community identity and local history by encouraging context-sensitive design and development (Goal 2-11)*, as the improvements have been carefully designed to reflect the history and character of the building by maintaining the building's key architectural features such as its vertical piers (columns) to frame the storefront windows, transom windows, fabric awnings, and renewing the traditional brick and tile siding. Furthermore, the project will remove low quality, incompatible modifications from the building, which include square green tiles over stucco and will restore the double entryway of the building.
2. *Require that new construction, additions, renovations, and infill developments be sensitive to neighborhood context and building forms and scale. (Policy 2-11.3)*, in that the renovations will match the existing building for the reasons stated in B.1 above.
3. *Continue to encourage pride in the quality and character of historic areas. (Goal 2-14)*, The project will continue the varied use of the building and make appropriate modifications to the building in order to facilitate the continued use of the building, while also introducing new tenants and activity at the prominent Village location. The reintroduction of the second Yale Avenue entry door improves the building's connection to the street and traditional character of the historic Claremont Village.

C. Compatibility of Form with Surrounding Development – The proposed project will maintain the form of the existing commercial building while restoring and updating façade and storefront materials to be more compatible with surrounding buildings.

The form that is being retained is consistent with the one-story tall storefronts located to the north and across Yale Avenue.

- D. **Compatibility of Quality with Surrounding Development** – The proposed project employs high-quality materials and a well-considered approach to renovating the existing commercial building in a manner that is consistent with its Village surroundings in terms of the quality of materials used on and architectural character. The brown earthtone tiles are similar in both shape and finish to the bricks used on the Verbal Building locate immediately to the south. The proposed brown fabric awnings harmonize well with the multi-color striped awnings on the Verbal Building.
- E. **Internal Consistency of Design** – The proposed project treats all building elevations in a consistent manner allowing the building to respect its context in the Claremont Village and remain an inviting commercial building. While the tile is not used on the rear elevation, the same stucco finish is used on this elevation. Also it is typical for rear elevations in the Village to have less ornate façades than the street-facing elevations.
- F. **Privacy** – There are no residential uses in the near vicinity of the project that would result in privacy impacts.
- G. **Internal Circulation** – The project design provides for adequate and safe pedestrian circulation. The project enhances the internal circulation of the building by providing a second storefront entryway allowing for ease of access to the various tenants occupying the commercial building.
- H. **Sustainability** – The proposed building modifications will be energy efficient, as it will be required to meet all applicable sustainability codes and guidelines adopted by the City as well as the state’s new green building code.
- I. **Tree Preservation** – There are no existing trees on site.
- J. **Light and Air** – The project is not anticipated to impinge on neighbor’s access to light or air as the proposal makes no significant changes to the massing, fenestration, or reflectivity of the building.
- K. **Environmental Protections** – The proposed development has been reviewed pursuant to the requirements of the California Environmental Quality Act (CEQA), for the reasons stated above in Section 1.
- L. **Health and Safety** – The visual effect of the development from view from adjacent public streets and neighborhoods will not be detrimental to the public interest, health, safety, convenience, or welfare as the proposed modifications to the building are superficial to the existing building, are well-designed, and will renovate the commercial space for the benefit of the building’s tenants as well as Claremont’s residents and visitors.

SECTION 3. The Architectural and Preservation Commission hereby approves Architectural and Site Plan Review #24-A06, based on the review criteria of Section 16.300.060 of the Claremont Municipal Code outlined in Section 2, above, and subject to the following conditions:

- A. This approval is for the exterior renovations and remodel to the commercial building at 212 North Yale Avenue, as shown on the site plan, floor plans, roof plan and elevations. These include the renovation of the building's front façade as indicated on the project plans and as described in the Architectural and Preservation Commission staff report.
- B. Plans submitted for plan check shall be in substantial compliance with the plans approved as part of Architectural and Site Plan Review (#24-A06). If the plan check submittal is not in substantial compliance with the approved design review submittal, the plans may require further staff review and re-notification of the surrounding property owners, which may delay implementation of the project and require additional fees.
- C. This approval is valid for two years from the date of Architectural and Preservation Commission action. If building permits are not issued, or a time extension has not been granted during this time frame, this approval shall automatically expire without further action by the City. The Director of Community Development is authorized to grant a one-year extension upon written request from the applicant indicating that there were unavoidable delays.
- D. Prior to the issuance of building permits, the applicant shall:
 1. Ascertain and comply with all requirements of the City's Building and Engineering Divisions, including the submittal of complete architectural, electrical, mechanical, and structural plans duly wet stamped and signed by a licensed architect or engineer. The construction documents submitted for plan check shall be in substantial conformance with those approved by Planning Division staff.
 2. Obtain an on-site improvement permit from the Engineering Division.
 3. Ascertain and comply with the requirements of the Los Angeles County Fire Department.
 4. Pay any/all outstanding development review fees associated with Architectural and Site Plan Review File #24-A06.
 5. Pay all applicable permit and development fees including, but not limited to, fire facility, plan check fees, and outstanding development review fees, as established by City ordinances and resolutions. These fees include, but are not limited to, the following:
 - a. Transportation Impact Fees
 - b. Fire Facility Fees

- c. School Impact Fees
 - d. Drainage Fees
- E. Prior to issuance of demolition, grading/on-site improvement or building permits, the applicant shall:
1. Provide city staff with a signed statement from the contractor, acknowledging receipt of these conditions of approval and any additional city reviews that have applicable conditions of approval. The signed statement shall state that the contractor understands that violation of these conditions of approval is a misdemeanor under the Claremont Municipal Code.
 2. Provide to City staff and receive approval from the City Engineer of a detailed plan regarding the construction fencing, contractor parking, construction truck routing, materials staging, and street, sidewalk, and bike route closures for the construction of the Project. A complete construction management plan, parking plan, and construction schedule must be submitted.
 3. In the event that an on-site improvement permit is required; submit a stamped and signed grading/drainage and on-site improvement plan, prepared by a licensed Civil Engineer per attached Preparation of Grading Plan requirements. At a minimum, such plan shall include the following:
 - a. Delineate all proposed improvements.
 - b. Delineate all property lines.
 - c. Show all existing and proposed easements.
 - d. No structures shall be placed on any part of the City of Claremont's easements except those directly related to the purposes of said easement.
 - e. Clearly identify public right of way improvements.
 - f. Delineate finished floor elevations.
 - g. Delineate flow line/proposed drainage.
 - h. Show any utility boxes found on the property. If relocation is shall make adequate arrangements with applicable utility companies.
 - i. Show summary of earthwork volumes.
 - j. Show City trees and tree protection in accordance with tree protective mitigation measures.
 - k. Show existing trees, trees to be removed, and trees to be protected in place in accordance with tree protective mitigation measures.

5. Street Resurfacing;
6. Public Works Permit and Plan Check Fees;
7. Grading/on-site Permit and Plan Check Fees;
8. Consultant Review Fees; and
9. Cash Deposits/Surety/Bonds.
 - a. Work with the City Engineer to identify any areas for possible public improvement and accessibility improvement requirements contiguous to the Project site. All needed street/alley repair measures, including, but not limited to, removal and replacement of affected public improvements, shall be completed to the satisfaction of the City Engineer.
 - b. Install all public right of way improvements (if applicable) and private onsite improvements including, but not limited to, drive approaches, landscape areas, and sidewalks meeting American with Disabilities Act (ADA) standards.
 - c. The developer shall submit a letter of non-interference from any utility company or easement holder whose easement may conflict with any proposed structures.
 - d. Applicant must hire a licensed land surveyor to identify and field mark surveying monuments located on the property. The licensed land surveyor shall prepare a certification letter addressing monument preservation within the boundaries of the Project. All work related to these monuments to be in accordance with the California Business and Professions Code Section 8771 (b) & (c). The monument preservation certification addressing boundaries of the Project shall be provided to the Engineering Division prior to issuing any permits to start the work.
 - e. If applicant's land surveyor cannot prepare this certification, the City's Acting Land Surveyor will conduct his own work/investigation (at the applicant's expense) to certify monument preservation within the boundaries of the Project. The Project schedule could be impacted should applicant chose to go with this option.

H. Special Conditions

1. Provide a maintenance agreement between the applicant and the City regarding any improvements that will be installed within City right-of-way or City property.
2. The proposed project and site improvements may be subject to the City's Low Impact Development (LID) requirements for small projects. Work with City staff and storm water consultant to identify and comply with storm water best management practices (BMPs) requirements for treating stormwater runoff in the outdoor seating patio area. All associated fees for consultant review and approval will be billed to the applicant.

3. The proposed project shall be in compliance with the City's Fats, Oils, and Grease (FOG) ordinance. Proposed occupancy will determine the type and capacity of grease control device necessary to maintain compliance. Grease control devices will require City review and approval. Consultant review may be required. If so, all associated fees for consultant review and approval will be billed to the applicant.
4. If there is an existing grease control device, the model, capacity, and design specification must be submitted to the City for review and approval. Upgrades to the existing system may be required.
5. Any new kitchen must comply with California Health and Safety Code.
- I. The proposed project shall be in compliance with the City's Municipal Separate Storm Sewer System (MS4) ordinance. This includes, but is not limited to:
 1. Construction activity
 2. Site management – housekeeping
 3. Erosion controls – scheduling and preservation of existing vegetation
 4. Sediment controls – perimeter controls and stabilized construction site entrance/exit
 5. Non-stormwater management – water conservation practices and dewatering operations
 6. Waste management – material delivery and storage; stockpile management; solid waste management; concrete waste management; and sanitary/septic waste management
 7. Restaurant activity:
 - No person shall cause any refuse, rubbish, food waste, garbage, or any other discarded or abandoned objects to be littered, thrown, deposited, left, accumulated, maintained or kept in or upon any street, alley, sidewalk, storm drain, inlet, catch basin, conduit, drainage structure, place of business, or upon any public or private property so that the same may or does become a pollutant which may or does enter the storm drain system or receiving waters, except when such materials are placed in containers, bags, recycling bins, or other lawfully established waste disposal facilities protected from stormwater or runoff.
 8. During grading and construction operations, the applicant shall:
 - a. Implement best available control measures (BACMs) to minimize nuisance levels of construction activity emissions such as dust, emissions, and off-site impacts. BACMs shall include, but are not limited to, the following:
 - b. Water all active construction areas at least twice daily.

- a. Cover all haul trucks or maintain at least two feet of freeboard.
- b. Pave or apply water four times daily to all unpaved parking or staging areas.
- c. Sweep or wash any site access points within thirty minutes of any visible dirt deposition on any public roadway.
- d. Cover or water twice daily any on-site stockpiles of debris, dirt, or dusty material.
- e. Suspend all operations on any unpaved surface if winds exceed twenty-five miles per hour.
- f. Hydro seed or otherwise stabilize any cleared area which is to remain inactive for more than ninety-six hours after clearing is completed.
- g. Require ninety-day low-NOx tune-ups for off-road equipment.
- h. Limit allowable idling to five minutes for trucks and heavy equipment.
- i. Encourage carpooling for construction workers.
- j. Limit lane closures to off-peak travel periods.
- k. Park construction vehicles off traveled roadways.
- l. Wet down or cover dirt hauled off-site.
- m. Wash or sweep access points daily.
- n. Encourage receipt of material during non-peak traffic hours.
- o. Sandbag construction sites for erosion control.
- p. Prior to the release of any grading and on-site improvements and public works bonds, the improvements authorized by either the grading permit and/or public works permit(s) shall be completed to the satisfaction of the City Engineer.
- q. The applicant shall ensure that the following measures are honored during all construction-related activities for the Project:
 - J. The hours of construction operation are limited to 7:00 AM to 8:00 PM, Monday-Saturday, as in effect in the Municipal Code. No construction activities are allowed on Sundays and National holidays.
 - K. During the course of all on-site grading and construction activity, the applicant shall employ adequate dust control measures in accordance with the Uniform Building Code, SCAQMD, and City requirements to minimize fugitive dust.
 - L. Ensure the following measures are honored during all construction-related activities for the project:

- All construction equipment shall use properly operating mufflers.
- M. Noise sources associated with construction activities shall not exceed the noise levels as set forth in Section 16.154.020(f) of the Claremont Municipal Code (CMC).
- N. To ensure compliance with the provisions of this design approval, a final inspection is required from the Planning Division before building permits are finalized. The applicant shall inform the Planning Division and schedule an appointment for such an inspection.
- O. Upon final inspection, the City will commence a thirty-day lighting level review of all exterior lights including building lights, streetlights, driveway lights, pathway lights, and landscape lights. If illumination levels, glare, or other applicable issues are found to be excessive, the Applicant will be directed to modify the lighting as necessary to achieve acceptable lighting levels.
- P. Non-compliance with any condition of this approval shall constitute a violation of the City's Municipal Code. Violations may be enforced in accordance with the provisions of the administrative fines program of Chapter 1.14 of the CMC.
- Q. The applicant and owner, by utilizing the benefits of this approval, shall thereby agree to defend at its sole expense any action against the City, its agents, officers, and employees because of the issues of such approval. In addition, the applicant and owner shall reimburse the City et al for any court costs and attorney fees that the City et al may be required to pay as a result of such action. The City may, at its sole discretion, participate at its own expense in the defense of any such action, but such participation shall not relieve the applicant/owner of its obligation hereunder.
- R. Failure to comply with any of the conditions, including design issues as shown on plans reviewed and approved by the City of Claremont, may result in failure to obtain a building final and a Certificate of Occupancy until full compliance is reached. The City's requirement for full compliance may require minor corrections and/or complete demolition of a non-compliant improvement, regardless of costs incurred, where the project does not comply with design requirements and approvals that the applicant agreed to when permits were pulled to construct the project.

SECTION 4. The Architectural and Preservation Commission Chair shall sign this Resolution and the Commission Secretary shall attest and certify to the passage and adoption thereof.

PASSED, APPROVED, AND ADOPTED this 10th day of September, 2025.

Architectural and Preservation Commission Chair

ATTEST:

Architectural and Preservation Commission Secretary



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212 N YALE ARCH & SITE PLAN REVIEW

212 N YALE AVE, CLAREMONT, CA 91711

ARCHITECTURAL ABBREVIATIONS

@	L	⊙	AB	A/C	AC	ADJ	AFF	ALUM	BD	BLDG	BLK	BLKG	BM	BO	BOBM	CAB	CB	CJ	CLG	CLR	CMU	CO	COL	COMP	CONC	CONST	CONT	CSK	CSMT	CT	CTR	OW	DS	DBL	DIA	DIAG	DM	DN	DR	DW	EA	EJ	ELEC	ENCL	EQ	EW	(E)	EXT	FAU	FF	FG	FHMS	FIN	FJ	FO	FLR	FLUOR	FND	FTG	FHWS	FURR	GA	GD	GLB	GS	GYP	GB	HB	HDR	HGT	HTR	HVAC	HW	IN	INT	INSUL	JST	LAM	LAV	EA	EACH	EXPANSION JOINT	ELECTRICAL ENCLOSURE	EQUAL	EACH WAY	EXISTING	EXTERIOR	FORCED AIR UNIT	FINISH FLOOR	FIXED GLASS	FLATH	FINISH FLOOR, JOIST	FACE OF FLOOR	FLUORESCENT	FOUNDATION	FOOTING	FLATHEAD WOOD SCREW	FURRED	GAUGE	GARBAGE DISPOSAL	GLU LAM BEAM	GALVANIZED STEEL	GYP SUM	GYP SUM BOARD	HOSE BIBB	HEADER	HEIGHT	HEATER	HEATING/VENTILATING/ AIR CONDITIONING	HOT WATER	INCH	INTERIOR	INSULATION	JOIST	LAMINATE	LAVATORY	MATL	MATERIAL	MAXIMUM	MACHINE BOLT	MEDICINE CABINET	MECH	MED	MFG	MIN	MISC	MTL	N	NORTH	NAT	NIC	NO	NUMBER	NTS	NOT TO SALE	O/	OVER	OBS	OBSCURE	OC	ON CENTER	OD	OUTSIDE DIAMETER	OH	OVERHEAD	OPG	OPENING	OS	OVERFLOW SCUPPER	PERF	PERFORATE	PL	PROPERTY LINE	PLYWOOD	PAIR	PVC	POLYVINYL CHLORIDE	PREFAB	PREFABRICATED	R	RADIUS/RISER	RD	ROOF DRAIN	REDWOOD	REFR	REFRIGERATOR	REINFC	REINFORCEMENT	REQD	REQUIRED	RM	ROOM	RO	ROUGH OPENING	RS	ROUGH SAWN	RWD	REDWOOD	SF	SQUARE FEET	SHLF	SHELF	SHLV	SHELVING	SS	STAINLESS STEEL	S&P	SHELF AND POLE	SEL	SELECT	SH	SINGLE HUNG	SHT	SHEET	SHTG	SHEATING	SHWR	SHOWER	SIM	SIMILAR	SKL	SKYLIGHT	SL	SLIDER (WINDOW)	SLDG	SLIDING	SQ	SQUARE	STL	STEEL	STOR	STORAGE	STRUCT	STRUCTURAL	T	TREAD	T&B	TOP & BOTTOM	T&G	TONGUE & GROOVE	TC	TRASH COMPACTOR	TO	TOP OF	TOB	TOP OF BEAM	TOH	TOP OF MASONRY	TOP	TOP OF PARAFET	TOPL	TOP OF PLATE	TOS	TOP OF SHEETING	THK	THICK	TMPR	TEMPERED GLASS	TV	TELEVISION	TY	TYPICAL	UNO	UNLESS NOTED OTHERWISE	VIF	VERIFY IN FIELD	W/	WITH	W/O	WITHOUT	WC	WATER CLOSET	WD	WOOD	WH	WATER HEATER	WI	WROUGHT IRON	WIN	WINDOW	WP	WATERPROOF	WR	WATER RESISTANT	WWF	WELDED WIRE FABRIC	WWM	WELDED WIRE MESH
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GENERAL NOTES

- A. ALL WORK SHALL CONFORM TO: (A) THE MINIMUM STANDARDS OF THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE AND ALL RELATED DOCUMENTS PUBLISHED BY THE I.C.C. WHICH HAVE BEEN ADOPTED BY THE LOCAL GOVERNING AGENCY; (B) ALL REGULATIONS AND ORDINANCES OF ALL LOCAL GOVERNING AGENCIES; (C) ANY SPECIAL CONDITIONS REQUIRED BY THE LOCAL GOVERNING AGENCIES; AND (D) ALL CALIFORNIA STATE CODE AMENDMENTS (BUILDING STANDARDS CODE) TITLE 24. THE APPLICABLE CODES WILL INCLUDE, BUT SHALL NOT BE LIMITED TO:
 - 2022 CALIFORNIA BUILDING CODE (CBC)
 - 2022 CALIFORNIA ELECTRICAL CODE (CEC)
 - 2022 CALIFORNIA MECHANICAL CODE (CMC)
 - 2022 CALIFORNIA PLUMBING CODE (CPC)
 - 2022 CALIFORNIA ENERGY CODE (CENC)
 - 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
 - CLAREMONT MUNICIPAL CODE
- B. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE DESIGNER'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE SHALL BE PROCEEDING AT HIS OWN RISK.
- C. OMISSIONS FROM THE DRAWINGS AND SPECIFICATION OR THE MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MISDESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- D. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWINGS SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- E. APPROVED NUMBERS OR ADDRESSES (PER CITY OF CLAREMONT) SHALL BE PROVIDED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. CONTRACTOR SHALL COORDINATE THE LOCATION WITH THE ARCHITECT.
- F. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE SELECTION OF ALL PLUMBING FIXTURES INCLUDING TOILETS, TUB/SHOWER, LAVATORIES, SINKS AND ALL APPROPRIATE FAUCETS, TRIM AND DRAINS. THE OWNER SHALL SELECT ALL COLORS, FINISH AND OPTIONS.
- G. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE MECHANICAL HEATING AND DISTRIBUTION SYSTEM IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.
- H. THE CONTRACTOR SHALL COORDINATE WITH OWNER FOR THE SELECTION OF ALL ELECTRICAL LIGHT FIXTURES (THEIR COLOR, TYPE AND FINISH), AND SWITCHPLATED AND OUTLETS (COLOR AND TYPE). THE CONTRACTOR SHALL VERIFY ALL LOCATIONS AND HEIGHTS OF ALL OUTLETS, LIGHTING FIXTURES, ETC. WITH THE ARCHITECT.
- I. THE CONTRACTOR SHALL COORDINATE WITH OWNER FOR THE SELECTION OF ALL KITCHEN APPLIANCES (COLOR, TYPE AND OPTIONS).
- J. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE SELECTION AND PROPER LOCATIONS OF ALL BATHROOM SPECIALTIES INCLUDING, BUT NOT LIMITED TO, MEDICINE CABINETS, MIRRORS, TOWEL BARS AND HOOKS, TOILET PAPER DISPENSER, SOAP DISH AND SHOWER ENCLOSURE.
- K. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE DESIGN OF BUILT-IN CABINETS INCLUDING DOOR AND DRAWER LOCATIONS, TYPES OF HINGES, PULLS AND SLIDING HARDWARE. THE OWNER SHALL SELECT THE TYPE OF MATERIALS, COLOR AND FINISH FOR CABINETS.
- L. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE SELECTION OF ALL INTERIOR FINISHES INCLUDING FLOOR COVERINGS AND UNDERLAYMENTS, PAINT (INCLUDING NUMBER OF COATS), OTHER WALLCOVERINGS, BASE AND CASE, LAMINATES, TILE, ETC.
- M. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE SELECTION OF ALL DOOR HARDWARE, INCLUDING, BUT NOT LIMITED TO, DOOR LATCHES, HINGES, CABINET HARDWARE, ETC. (TYPES AND FINISHES).
- N. ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE APPLICABLE BUILDING CODES AS WELL AS ANY OTHER RULES, REGULATIONS, AND ORDINANCES GOVERNING THE PLACE OF CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF ANYONE SUPPLYING LABOR, MATERIALS, OR BOTH TO BRING TO THE ATTENTION OF THE DESIGNER, ENGINEER, GENERAL CONTRACTOR AND THE OWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
- O. CONSTRUCTION HOURS ARE FROM 7:00 A.M. UNTIL 8:00 P.M., MONDAY THROUGH SATURDAY. NO WORK IS TO OCCUR ON SUNDAY OR HOLIDAYS.
- P. CASP REPORT IS REQUIRED FOR FINAL INSPECTION.

ADDITIONAL GENERAL NOTES

- a. THE CONSTRUCTION SHALL NOT RESTRICT A FIVEFOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES- WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- b. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).
- c. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
- d. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
- e. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
- f. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- g. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
- h. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)
- i. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)
- j. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B)
- k. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)
- l. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)
- m. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.)
- n. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 8 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- o. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE

PROJECT DATA

LEGAL DESCRIPTION:	A.P.N.:	8313-019-005
	LOT:	14
	BLK:	37
ZONE:	CV	
LOT AREA:	4,855 SQ. FT.	
TYPE OF CONSTRUCTION:	V-B	
OCCUPANCY GROUP:	B (BUSINESS)	
BUILDING HEIGHT:	18' - 0"	
NUMBER OF STORIES:	1	
(E) FIRE SPRINKLER SYSTEM:	NO	
(N) FIRE SPRINKLER SYSTEM:	NO	

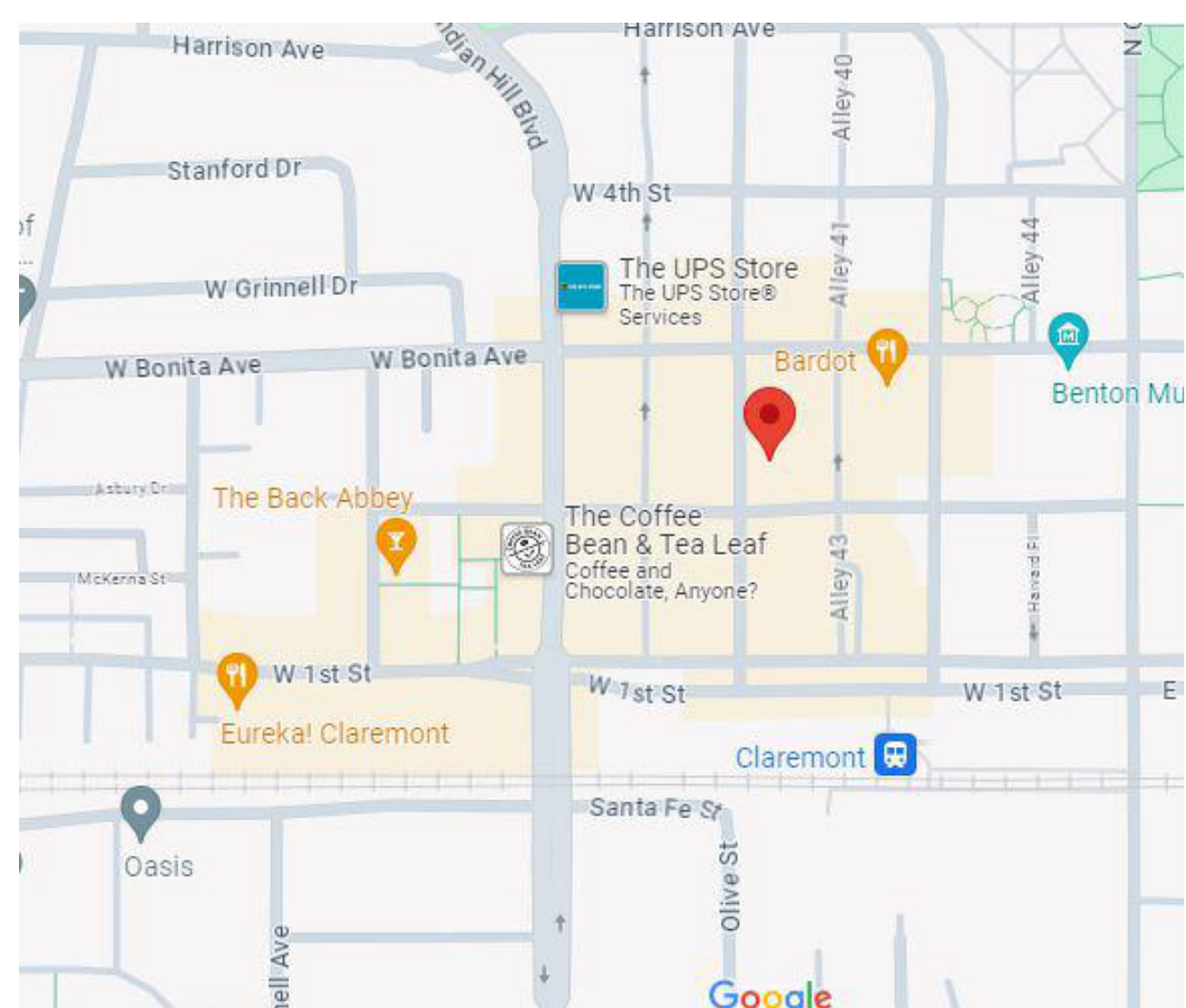
RESIDENTIAL FLOOR AREA (R.F.A.)

AREA	EXISTING (sq. ft.)	NEW (sq. ft.)	DEMO (sq. ft.)	CREDIT (sq. ft.)	TOTAL (sq. ft.)
OFFICES	2,200	0.0	0.0	0.0	2,200
TOTAL RFA AREA					2,200

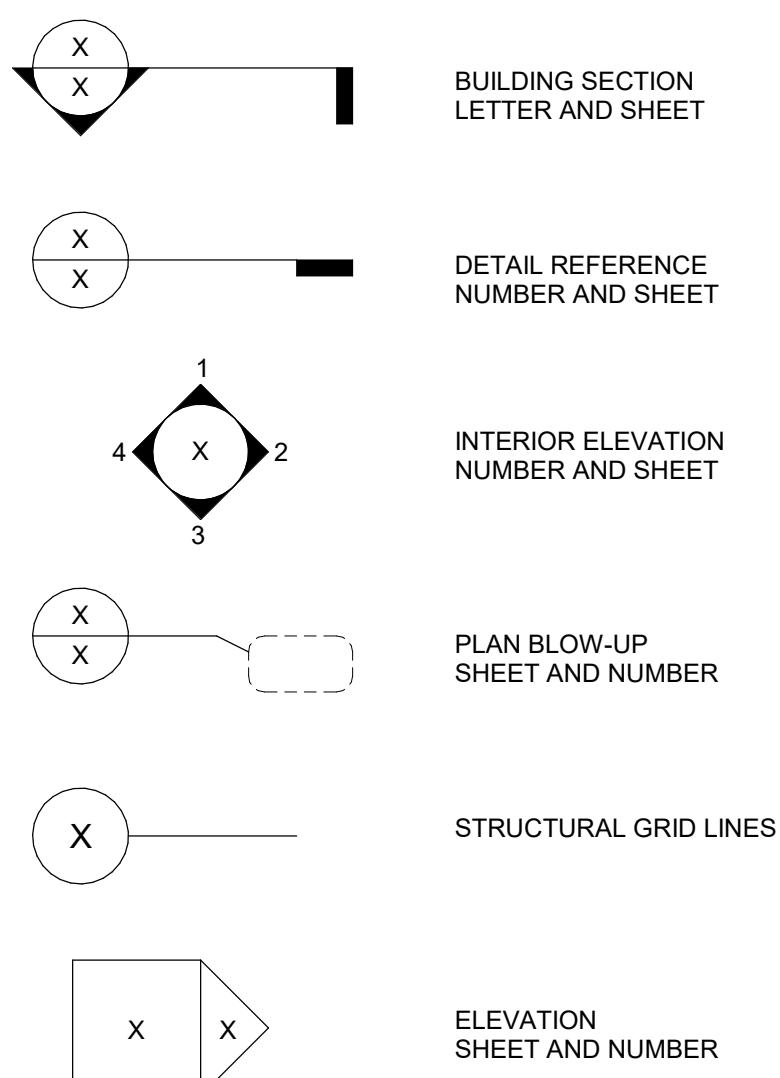
OCCUPANT LOAD:

OCCUPANCY	AREA (sq. ft.)	LOAD FACTOR	OCCUPANT LOAD
B (BUSINESS)	2,200	100	22
TOTAL	2,200	-	22

VICINITY MAP



ARCHITECTURAL SYMBOLS



DIRECTORY

OWNER	ARCHITECT
Bluebird Investment Group LLC DARLENE MARTINEZ	369 Architects Inc. MARC ABDELSAYED
212 YALE AVE. CLAREMONT, CA 91711 TEL: 909.772.5759 Email: darlene@bluebirdinvest.com	50 DE LACEY AVE. STE 210 PASADENA CA 91105 CELL: 310.625.2836 Email: m.abdelsayed@369architects.com

SHEET INDEX:

T-1	TITLE SHEET
GN-1	GENERAL NOTES
A-0.1	ACCESSIBILITY DETAILS
A-1.0	EXISTING & PROPOSED SITE PLAN
A-2.1	PROPOSED ROOF PLAN
A-3.0	EXTERIOR ELEVATIONS
A-4.0	SECTIONS
A-5.0	ARCHITECTURAL DETAILS
A-6.0	MATERIAL BOARD

DESCRIPTION OF WORK:

- ARCHITECTURAL AND SITE PLAN REVIEW SUBMITTAL ONLY. SCOPE INCLUDES UPDATED EXTERIOR ELEVATIONS, PROPOSED MATERIALS AND FINISHES, SITE PLAN LAYOUT, ACCESSIBLE PARKING, AND ROOF PLAN. NO INTERIOR TENANT IMPROVEMENT WORK IS INCLUDED IN THIS SUBMITTAL.
- TENANT IMPROVEMENT SCOPE WILL BE SUBMITTED SEPARATELY UNDER PLAN CHECK 800-036-177.

212 N YALE
ARCHITECTURAL & SITE
PLAN REVIEW

JOB SITE:
212 N Yale Ave, Claremont, CA
91711

PHONE:
(760) 673-6837

PLAN CHECK / JOB NO.
B00-036-177

PLAN:

TITLE SHEET

Project Number

Date

Drawn By

Checked By

Issue Date

J.F.

Checker

T-1

Scale 1/4" = 1'-0"



50 S De Lacey Ave. Unit #210
Pasadena, CA 91105
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212 N YALE ARCHITECTURAL & SITE PLAN REVIEW

REVISIONS		
No.	Description	Date

JOB SITE:	
212 N Yale Ave., Claremont, CA 91711	
PHONE: (760) 673-6837	
PLAN CHECK / JOB NO. B00-036-177	
PLAN:	

GENERAL NOTES

Project Number	Project Number
Date	Issue Date
Drawn By	J.F.
Checked By	Checker
Scale	

7/29/2025 11:11:37 AM

BATHROOM NOTES

SAFETY GLAZING (I.E., TEMPERED) WINDOWS IN BATHROOMS [CRC 308.4.5]

• WINDOWS IN ANY PORTION OF A WALL ENCLOSING TUBS AND/OR SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE STANDING SURFACE. • WINDOWS WITHIN 60" MEASURED HORIZONTALLY FROM WATER'S EDGE OF A BATHTUB OR WHIRLPOOL TUB OR FROM EDGE OF A SHOWER AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

Water Conserving Plumbing Fixtures [California Civil Code 1101.4(a)]

THE CALIFORNIA CIVIL CODE REQUIRES THAT ALL EXISTING NON-COMPLIANT PLUMBING FIXTURES (BASED ON WATER EFFICIENCY) THROUGHOUT THE HOUSE BE UPGRADED WHENEVER A BUILDING PERMIT IS ISSUED FOR REMODELING IMPROVEMENTS EVEN IF THE FIXTURES ARE NOT WITHIN THE SCOPE OF WORK. RESIDENTIAL BUILDING CONSTRUCTED AFTER JANUARY 1, 1994 ARE EXEMPT FROM THIS REQUIREMENT. THE FOLLOWING TABLE SHOWS THE FIXTURES THAT ARE CONSIDERED TO BE NON-COMPLIANT AND THE TYPE OF WATER-CONSERVING PLUMBING FIXTURE THAT SHOULD BE INSTALLED:

TYPE OF FIXTURE	Non-Compliant plumbing fixture	Required Water-Conserving plumbing Fixture (max. rate) CalGreen 4.303
WATER CLOSET (TOILET)	MORE THAN 1.6 GAL./ FLUSH	1.28 GALLONS / FLUSH
URINAL	MORE THAN 1.0 GAL./ FLUSH	0.125 GAL. / FLUSH FOR WALL MOUNT, 0.50 FOR OTHERS
SHOWER HEAD	MORE THAN 2.5 GAL./ MINUTE	2.0 GALLONS / MINUTE AT 80 PSI
FAUCET-BATHROOM	MORE THAN 2.2 GAL./ MINUTE	1.2 GALLONS / MINUTE AT 80 PSI
FAUCET-KITCHEN	MORE THAN 2.2 GAL./ MINUTE	1.8 GALLONS / MINUTE AT 80 PSI

PLUMBING

• TOILET AND/OR BIDET REQUIRE A TOTAL MINIMUM 30" CLEAR SPACE (15" FROM CENTERLINE TO EACH SIDE) AND A MINIMUM OF 24" CLEAR SPACE IN FRONT OF THE FIXTURE. URINALS REQUIRE A TOTAL MINIMUM 24" CLEAR SPACE (12" FROM CENTERLINE TO EACH SIDE). [CPC 402.5]
 • WHEN ADDITIONAL TOILETS (WATER CLOSETS) ARE INSTALLED, A MAXIMUM OF THREE (3) TOILETS ARE ALLOWED ON A 3" WASTE LINE. [TABLE 703.2, FOOTNOTE 4]
 • PROVIDE SAFETY GLAZING (TEMPERED) GLASS FOR TUB/SHOWER ENCLOSURES & DOORS. [CRC 1210.1]
 • SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE CONFORMING TO ASSE 1016 OR ASME A112.18.1/CSA B125.1. HANDLE POSITIONS SHALL BE ADJUSTED TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120° F. [CPC 408.3]
 • THE HOT WATER VALVE SHALL BE INSTALLED ON THE LEFT SIDE WHERE TWO SEPARATE HANDLES CONTROL ARE PROVIDED. [417.5]
 • A MINIMUM 12"x12" ACCESS PANEL IS REQUIRED WHEN A SLIP JOINT P-TRAP WASTE & OVERFLOW IS PROVIDED FOR INSPECTION & REPAIR. [402.10]

TOILET / BIDETS

• THE WATER SUPPLY TO THE BIDET SHALL BE PROTECTED BY AN AIR GAP OR VACUUM BREAKER. [410.2, 603.3,2,603.3.5, 603.3.6]
 – THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BIDET SHALL BE LIMITED TO 110° F BY A DEVICE THAT IS IN ACCORDANCE WITH ASSE 1070 OR CSA B125.3. WATER HEATER THERMOSTATS SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION. [410.3]

SHOWER

– SHOWER STALLS SHALL HAVE A MINIMUM INTERIOR FINISHED AREA OF 1,024 SQ.-IN. AND BE ABLE TO ENCOMPASS A 30" DIAMETER CIRCLE. [408.6]
 – STALL SHOWER DOOR TO OPEN OUT WITH A MINIMUM 22" WIDE OPENING. [408.5]
 – THE SHOWER DOOR SHALL BE INSTALLED IN ACCORDANCE TO SECTION 408.7
 • SHOWER STALLS AND BATHTUBS WITH SHOWER HEADS INSTALLED, SHALL HAVE WALLS FINISHED WITH A NONABSORBENT SURFACE FOR A MINIMUM OF 6 FEET ABOVE THE FLOOR. (CBC 1210 AND CRC R307.2)

ELECTRICAL

• PROVIDE A 20-AMP GFCI PROTECTED RECEPTACLE WITHIN 36" OF THE OUTSIDE EDGE OF THE EACH BATHROOM SINK BASIN. [CEC 210.52(D)]
 – RECEPTACLE SHALL BE LOCATED ON A WALL OR PARTITION THAT IS ADJACENT TO THE BASIN, ON THE COUNTERTOP, OR INSTALLED ON THE SIDE OR FACE OF THE BASIN CABINET NOT MORE THAN 12" BELOW THE TOP OF THE BASIN.
 – ALL RECEPTACLES SHALL BE TAMPER-RESISTANT (TR). [406.12]
 • A MINIMUM OF ONE 120-V/20-AMP BRANCH CIRCUIT IS REQUIRED FOR BATHROOM RECEPTACLE(S). SUCH CIRCUIT SHALL HAVE NO OTHER RECEPTACLES. [210.11(C)(3)]
 • ALL 125-V, SINGLE-PHASE, 15- AND 20-AMP RECEPTACLES INSTALLED IN BATHROOMS SHALL HAVE GFCI PROTECTION. THE GFCI SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION. [210.8]
 • RECEPTACLES SHALL NOT BE INSTALLED WITHIN OR DIRECTLY OVER A BATHTUB OR SHOWER STALL AND WITHIN 5-FT OF THE PERIMETER OF BATHTUBS OR SHOWER STALLS. [406.9(C)]

Bathroom Lighting Requirements [CEC 150.0(K)]

• ALL INSTALLED MINIMUM LIGHTING SHALL BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0.A. A MINIMUM OF ONE HIGH EFFICACY LUMINAIRE SHALL BE CONTROLLED BY A VACANCY SENSOR.
 • SWITCHES SHALL NOT BE INSTALLED WITHIN TUBS OR SHOWER SPACES UNLESS INSTALLED AS PART OF A LISTED TUB OR SHOWER ASSEMBLY AND WITHIN 5-FT OF THE PERIMETER OF BATHTUBS OR SHOWER STALLS. [CEC 404.4(C)]
 • ALL RECESSED LIGHTING SHALL BE "IC RATED AND AIRTIGHT CERTIFIED". [CENC150.0(K)(C)]
 • NO PENDANT LIGHTING SHALL BE LOCATED WITHIN A ZONE MEASURED 3-FT HORIZONTALLY AND 8-FT VERTICALLY FROM THE TOP OF A BATHTUB RIM OR SHOWER STALL THRESHOLD. [CEC 410.10(D)]
 • LUMINAIRES LOCATED WITHIN THE ACTUAL OUTSIDE DIMENSIONS OF THE BATHTUB OR SHOWER TO A HEIGHT OF 8-FT VERTICALLY FROM THE TOP OF THE TUB RIM AND SHOWER THRESHOLD SHALL BE OF ENCLOSED & GASKETED TYPE LISTED FOR DAMP OR WET LOCATIONS AND BE GFCI PROTECTED. [505.14(D), 551.53(B)]
 • FOR OCCUPANCIES WITH A HORIZONTAL (FLOOR/CEILING ASSEMBLY) FIRE-RATED SEPARATION, THE RECESSED FIXTURES SHALL BE PROTECTED TO THE SAME RATING OF THE SEPARATION (1-HOUR) OR BE LISTED FOR THE REQUIRED FIRE PROTECTION. THIS GENERALLY APPLIES TO RESIDENTIAL CONDOMINIUM CONSTRUCTION WHERE UNITS ARE ABOVE OR BELOW OTHER UNITS. [CBC 714.4.2]

Bathroom Exhaust s [CEC 150.0(K)]

• LOCAL EXHAUST SYSTEM SHALL BE INSTALLED IN A BATHROOM CONTAINING A TUB, SHOWER, SPA, OR SOME OTHER SIMILAR SOURCE OF MOISTURE AND VENTED TO THE OUTDOORS WITH A MINIMUM EXHAUST RATE OF 50 CFM (20 CFM IF CONTINUOUS OPERATION), A MAXIMUM OF 3 SONE RATING (1 FOR CONTINUOUS) IS REQUIRED FOR THE (ENERGY STAR) EXHAUST FAN. FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE AND CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50% TO 80%. [CENC 150(0), ASHRAE STD. 62.2, CALGREEN 4.506.1]
 • BATHROOMS THAT ONLY HAVE A TOILET AND SINK DO NOT REQUIRE LOCAL EXHAUST IF THERE IS AN IN-11, 3-SQ-FT) OPERABLE WINDOW. [CRC R303.3]
 • EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND EQUIPPED WITH BACK-DRAFT DAMPERS. DAMPERS ARE NOT REQUIRED WHEN THE EXHAUST FAN OPERATE CONTINUOUSLY. TERMINATION SHALL NOT BE LESS THAN 3-FT FROM A PROPERTY LINE, 10-FT FROM A FORCED AIR INLET, AND 3-FT FROM OPENINGS INTO THE BUILDING. DUCTS SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY. [CMC 504.1,502.2.1]

ENERGY TITLE

• ALL ACCESSIBLE JOINTS, PENETRATIONS, AND OTHER OPENINGS IN THE BUILDING ENVELOPE ABOUT THE AREA OF WORK SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED. [110.7]

KITCHEN NOTES

ELECTRICAL NOTES

• ALL KITCHEN COUNTERTOP OUTLETS SHALL BE GFCI PROTECTED. CEC 210.8(A)(6)
 • 12" OR WIDER COUNTERTOPS REQUIRE AN OUTLET. CEC 210.52(C)(1)
 • OUTLETS ARE REQUIRED WITHIN 24" OF ANY LOCATION ABOVE THE COUNTERTOP. CEC 210.52(C)(1).
 • KITCHEN OUTLETS MUST BE POSITIONED A MAXIMUM 20" ABOVE COUNTER TOP. CEC 210.52(C)(5)
 • APPLIANCES AND SINKS BREAK UP THE COUNTERTOP RUN, REQUIRING EACH SIDE TO COMPLY INDIVIDUALLY.CEC 210.52(C)

• THE ELECTRICAL OUTLET REQUIREMENTS INCLUDE ISLANDS, PENINSULAS, KITCHEN DESKTOPS, WET BARS, AND SERVING BARS. A LARGE WINDOW ACROSS THE BACK OF A SINK OR LACK OF A BACK SPLASH DOES NOT EXEMPT THE COUNTERTOP FROM THE OUTLET REQUIREMENTS. THESE OUTLETS MAY BE IN A DROP FRONT CABINET FACE, UNDER CABINET PLUG STRIP, POP UP OR TOMBSTONE TYPE RECEPTACLE. CEC 210.52(C)(2), (3), (4)

• 2 – SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED FOR KITCHENS. THE LOADS SHALL BE BALANCED AND HAVE NO OTHER OUTLETS. S. CEC 210.52(B)(1), (2)

• INDIVIDUAL DEDICATED CIRCUITS ARE REQUIRED FOR ALL MAJOR APPLIANCES. CEC 210.11(C)(1) & CEC 422.10(A)
 • THE GARBAGE DISPOSAL CORD IS LIMITED TO A RANGE OF 18" TO 36" LONG. CEC 422.16(B)(1)
 • DISHWASHER CORD 36" TO 48" LONG, ROMEX INSTALLED WITH A PLUG IS NOT AN APPROVED FLEXIBLE CORD. CEC 422.16(B)(2).

• MINIMUM 15 AMP CIRCUIT FOR THE DISHWASHER AND A 15 AMP CIRCUIT FOR THE DISPOSAL. CEC 210.23(A)

• IF USING A SPLIT OUTLET (2 CIRCUITS ON THE SAME YOLK) FOR DISHWASHER/DISPOSAL, PROVIDE A LISTED HANDLE TIE AT THE 2 CIRCUIT BREAKERS AT THE PANEL. CEC210.7(B)

• IC (DIRECT CONTACT) AND AT (AIR TIGHT) RATED CANS ARE REQUIRED FOR RECESSED LIGHTING IF INSTALLED IN AN INSULATED CEILING. FOR OCCUPANCIES WITH A HORIZONTAL (FLOOR/CEILING ASSEMBLY) RATED SEPARATION, THE RECESSED FIXTURES SHALL BE PROTECTED TO THE RATING OF THE SEPARATION (1 HOUR) OR BE LISTED FOR THE REQUIRED PROTECTION. THIS GENERALLY APPLIES TO RESIDENTIAL CONDOMINIUM CONSTRUCTION WHERE UNITS ARE ABOVE OR BELOW OTHER UNITS [CEC 150(K).1.C]

MECHANICAL

• A DUCTED RESIDENTIAL EXHAUST HOOD IS REQUIRED. A METAL, SMOOTH INTERIOR SURFACE FLEX DUCT REQUIRED ON VENT HOOD OR DOWN DRAFT EXHAUST VENT. ALUMINUM FLEX DUCT NOT APPROVED. PROVIDE A BACK DRAFT DAMPER. CMC504.3.
 • MINIMUM 30" VERTICAL CLEARANCE TO COMBUSTIBLES FROM COOK TOP SURFACE IS REQUIRED. [CMC 921.3.1]

• KITCHEN LOCAL EXHAUST VENTILATION REQUIRES A MINIMUM RATE OF 100CFM MEETING THE REQUIREMENTS OF ASHRA 62.2. THIS INCLUDES A MAXIMUM SOUND RATING OF 3 SONE @ 100CFM.

PLUMBING

• A GAS TEST IS REQUIRED ON PIPING MODIFICATIONS (10 PSI FOR 15 MINUTES). A MAXIMUM 15 PSI GAUGE IS REQUIRED FOR THE GAS TEST. A LOWER GAS PRESSURE TEST MAY BE PERFORMED WHEN USING A RECORDING TEST GAUGE PER SECTION 1214.3 OF THE CPC. [CPC 1213.3]

• GAS LINES THAT RUN UNDER A SLAB SHALL RUN THROUGH AN APPROVED, VENTED, GAS TIGHT CONDUIT. [CPC1210.3.4]

• AN ACCESSIBLE SHUTOFF VALVE SHALL BE INSTALLED OUTSIDE EACH APPLIANCE AND AHEAD OF THE UNION CONNECTED THERETO AND IN ADDITION TO ANY VALVE ON THE APPLIANCE. [CPC 1210.1.1]

• PROVIDE MAXIMUM 6-FT. LONG LISTED GAS FLEXIBLE CONNECTOR AND SHUT OFF TO FREESTANDING RANGE. [CPC 1212.3.1]

• A LISTED AIR GAP IS REQUIRED FOR THE DISHWASHER DRAIN. [CPC 807.3]

• THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. [CPC402.4]

ADDITIONAL NOTES

MECHANICAL

CLOTHES DRYERS SHALL CONFORM TO THE FOLLOWING:

a.- DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL LENGTH OF 14 FEET, INCLUDING TWO 90 DEGREE ELBOW UNLESS PERMITTED BY THE MANUFACTURE.

b.- MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND SHALL BE EQUIPPED WITH BACK DRAFT DAMPER.

c.- THE TERMINATION OF THE EXHAUST DUCT SHALL HAVE A MINIMUM CLEARANCE OF 3'FT. FROM OPENINGS INTO THE BUILDING.

ELECTRICAL

1.- RECEPTACLE OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH:
 a.- AT LEAST ONE OUTLET ACCESSIBLE AT GRADE LEVEL AND NOT MORE THAN 6-1/2-FT. ABOVE GRADE SHALL BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING

2.- ALL NEW 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES SHALL HAVE A GROUND-FAULT CIRCUIT-INTERRUPTER (GFCI OR GFI) PROTECTION WHEN INSTALLED IN THE FOLLOWING LOCATIONS: DISHWASHERS & OUTDOOR (WEATHER-RESISTIVE, TO)

3.- ALL 120-VOLT, SINGLE-PHASE 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING NEW OUTLETS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI), COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT WHEN INSTALLED IN THE SINGLE-FAMILY RESIDENCE (BATHROOMS & GARAGES ARE EXCEPT)

4.- RECEPTACLES, CORD CONNECTORS, AND ATTACHMENT PLUGS SHALL COMPLY WITH THE FOLLOWING: a. ALL 125-VOLT, 15- AND 20-AMPERE RECEPTACLES IN DWELLINGS SHALL BE LISTED TAMPER-RESISTANT

5.- EXHAUST FANS WITH INTEGRAL LIGHTING SYSTEM SHALL BE SWITCHES SEPARATELY FROM LIGHTING SYSTEM OR HAVE A LIGHTING SYSTEM THAT CAN BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD OF TIME.

ADDITIONAL NOTES

SMOKE ALARMS SHALL BE INSTALLED ON THE CEILING OR WALL (BETWEEN 4± AND 12± OF THE CEILING) IN ALL SLEEPING ROOMS, EACH AREA/HALLWAY ADJACENT TO SLEEPING ROOMS, EACH STORY OF THE BUILDING, AND IN ANY BASEMENT.(CBC 907.2.11, CRC 314)

CARBON MONOXIDE (CO) ALARMS SHALL BE INSTALLED ON THE CEILING OR WALL (ABOVE THE DOOR HEADER) IN EACHAREA/HALLWAY ADJACENT TO SLEEPING ROOMS, EACH OCCUPABLE STORY, AND WITHIN A BEDROOM IF THE BEDROOM OR ATTACHED BATHROOM CONTAINS A FUEL-BURNING APPLIANCE. CO ALARMS ARE NOT REQUIRED IF THERE IS NO FUEL BURNING APPLIANCE OR FIREPLACE IN THE HOUSE AND WHERE THE GARAGE IS DETACHED FROM THE HOUSE.(CBC 907.2.11, CRC 315)

BUILDING & SAFETY GENERAL NOTES

1. All entry doors to dwelling units or guest rooms shall be arranged so that the occupant has a view of the area immediately outside the door without opening the door. Such view may be provided by a door viewer, through windows located in the vicinity of the door or through view ports in the door or adjoining wall. (6706)

2. Screens, barricades, or fences made of a material which would preclude human climbing shall be provided at every portion of every roof, balcony, or similar surface which is within 8 ft. of the utility pole or similar structures. (6707)

3. Wood flush-type doors shall be 1 3/8" thick minimum with solid core construction.

91.6709.1 - Door stops of in swinging doors shall be of one-piece construction with the jamb or joined by rabbet to the jamb. (6709.4)

4. Every door in a security opening for an apartment house shall be provided with a light bulb (60 watt min.) At a maximum height of 8 feet on the exterior. (6708)

5. All pin-type door hinges accessible from outside shall have non-removable hinge pins. Hinges shall have min. 1/4" dia. steel jamb stud with 1/4" min. protection. The strike plate for latches and holding device for projecting dead bolts in wood construction shall be secured to the jamb and the wall framing with screws no less than 2-1/2" long. (91.6709.5, 6709.7)

6. Provide dead bolts with hardened inserts; deadlocking latch with key-operated locks on exterior. Doors must be operable from the inside without a key, special knowledge, or special effort (latch not required in B, F, and S occupancies). (6709.2)

7. Straight dead bolts shall have a min. throw of 1" and an embedment of not less than 5/8", and a hook-shaped or an expanding-lug deadbolt shall have a minimum throw of 3/4". (6709.2)

8. Wood panel type doors must have panels at least 9/16 in. thick with shaped portions not less than 1/4 in. thick and individual panels must be no more than 300 sq. in. in area. Mullions shall be considered a part of adjacent panels except mullions not over 18 inches long may have an overall width of not less than 2 inches. Stiles and rails shall be of solid lumber in thickness with overall dimensions of not less than 1 3/8 inches and 3 inches in width. (91.6709.1 item 2)

9. Sliding doors shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position. (6710)

10. Sliding glass doors panels shall be closed and locked when subjected to the tests specified in Sec. 6717.112.

11. Metal or wooden overhead or sliding doors shall be secured with a cylinder lock, padlock with a min. 9/32" diameter hardened steel shackle and bolted, hardened steel hasps, metal slide board, bolt or equivalent device unless secured electrically operated. (6711)

12. Provide metal guides at top and bottom of metal accordion grate or grille-type doors, cylinder locks or padlocks. Cylinder guards shall be installed on all cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to gripping tools. (6712)

14. Glazed openings within 40" of the door lock when the door is in the closed position, shall be fully tempered glass or approved burglary resistant material, or shall be protected by metal bars, screens or grills having a maximum opening of 2". The provisions of this section shall not apply to view ports or windows which do not exceed 2" in their greatest dimensions. (6713)

15. Louvered windows shall be protected by metal bars or grills with openings that have at least one dimension of 6" or less, which are constructed to preclude human entry. (6715.3)

16. Other operable windows shall be provided with substantial locking devices. In B, F, M and S occupancies, such devices shall be glide bars, bolts, cross-bars, and/or padlocks with minimum 9/32" hardened steel shackles and bolted, hardened steel hasps. (6715.2)

17. Sliding windows shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position. 6715.1

18. Sliding windows shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subjected to the tests specified in Sec. 6717.2.

19. Any release for metal bars, grills, grates or similar devices constructed to preclude human entry that are installed shall be located on the inside of the adjacent room and at least 24 inches from the closest opening through such metal bars, grills, grates or similar devices that exceeds two inches in any dimension. (6715.4)

20. All other openings must be protected by metal bars or grills with openings of not less than 6 inches in one dimension. (6716.6)

FIRE PROTECTION

The building shall be equipped with an automatic residential fire sprinkler system in accordance with section R313.3 or NFPA13D. (R313, 12.21A17(d))

The Sprinkler System shall be approved by Plumbing Division prior to installation

An approved smoke alarm shall be installed in each sleeping room & hallway or area giving access to a sleeping room, and on each story and basement for dwellings with more than one story. Smoke alarms shall be interconnected so that actuation of one alarm will activate all the alarms within the individual dwelling unit. In new construction smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery back-up and low battery signal. (R314)

An approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed and in dwelling units that have attached garages. Carbon monoxide alarm shall be provided outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s) and on every level of a dwelling unit including basements. (R315)

MEAN OF EGRESS

Provide emergency egress from sleeping rooms. Show details on plans. Minimum - 24" clear height,20" clear width, 5.7 sf minimum area (5.0 sf atgrade level) & 44" maximum to sill. (R310.1)

Provide 32" wide doors to all interior accessible rooms. (6304.1)

How on plans the entry/exit door must open over a landing not more than 1.5' below the threshold. Exception: Proving the door does not swing over the landing. Landing shall be not more than 7.75" below the threshold. Storm and screen doors are permitted to swing over all exterior stairs and landings. (R311.3.1)

BUILDING ENVELOPE

Provide a class A, B or C fire-retardant roof covering per Section R902.1

Glazing in the following locations shall be safety glazing conforming to the human impact loads of Section R308.3 (see exceptions) (R308.4):

a.- Fixed and operable panels of swinging, sliding and bifold door assemblies.

b.- Glazing in an individual fixed or operable panel adjacent to a door where the nearest vertical edge is within a 24-inch arc of the door in a dosed position and whose bottom edge is less than 60 inches above the floor or walking surface.

c.- Glazing in an individual fixed or operable panel that meets all of the following conditions:

- 1) Exposed area of an individual panel greater than 9 square feet.
- 2) Bottom edge less than 18 inches above the floor.
- 3) Top edge greater than 36 inches above the floor.
- 4) One or more walking surfaces within 36 inches horizontally of the glazing.

d.- Glazing in railings.

e.- Glazing in enclosures for or walls facing hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers where the bottom edge of the glazing is less than 60 inches measured vertically above any standing or walking surface.

f. Glazing in walls and fences adjacent to indoor and outdoor swimming pools, hot tubs and spas where the bottom edge of the glazing is less than 60 inches above a walking surface and within 60 inches, measured horizontally and in a straight line, of the water's edge.

g. Glazing where the bottom exposed edge of the glazing is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps.

h. Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and within 60 inches horizontally of the bottom tread.

Damproofing, where required, shall be installed with materials and as required in Section R406.1

Vehicle access doors shall comply with Section R612.4.

Skylight and sloped glazing shall comply with section R308.6

Lots shall be graded to drain surface water away from foundation walls with a minimum fall of 6 inches within the first 10 feet (401 .3).

Buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property.(R319.1)

Protection of wood and wood based products from decay shall be provided in the locations specified per Section R317.1 by the use of naturally durable wood or wood that is preservative-treated in accordance with AWPA U1 for the species, product, preservative and end use. Preservatives shall be listed in Section 4 of AWPA U1 .

Provide anti-Graffiti finish within the first 9 feet, measured from grade, at exterior walls and doors. Exception: maintenance of building affidavit is recorded by the owner to covenant and agree with the City Of Los Angeles to remove any graffiti within 7-days of the graffiti being applied. (6306)

GENERAL REQUIREMENTS

The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.

An approved seismic gas shutoff valve will be installed on the fuel gas line on the downstream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (per ordinance 170,158) (separate plumbing permit is required).

Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system (R306.3).

Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4).

Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor (R307.2).

Provide ultra-low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption .

Unit Skylights shall be labeled by a LA City Approved Labeling Agency. Such label shall state the approved labeling agency name, product designation and performance grade rating. (Research Report not required). (R308 .6.9)

Water heater must be strapped to wall. (Sec. 507.3, LAPC)

For existing pool on site, provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 sees. max.) for a single opening. The

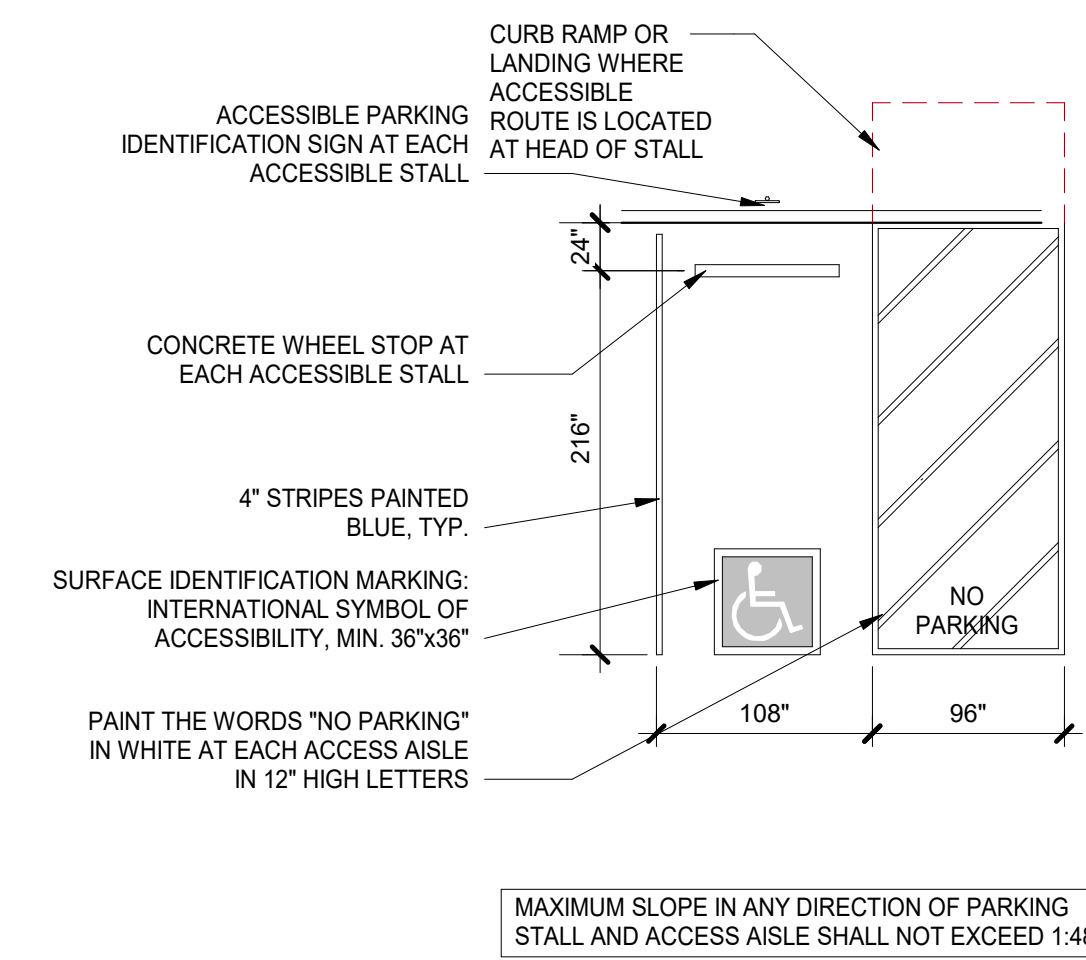
ACCESSIBILITY NOTES

1. "THE ACCESSIBILITY GUIDELINES AND CODES" MENTIONED BELOW REFER TO ALL APPLICABLE LOCAL/STATE BUILDING CODES REFERENCED ON THE PROJECT DATA SHEET OF THIS SET IN ADDITION TO THE FEDERAL REQUIREMENTS OF THE ADA (THE AMERICANS WITH DISABILITIES ACT).
2. DETAILS ON THIS SHEET ARE FOR REFERENCE ONLY. REFER TO THE ACCESSIBILITY GUIDELINES AND CODES FOR ALL ACCESSIBILITY REQUIREMENTS.
3. THE GENERAL CONTRACTOR SHALL BECOME FAMILIAR WITH THE ACCESSIBILITY GUIDELINES AND CODES.
4. ANY DISCREPANCY CONTAINED HEREIN DOES NOT RELIEVE THE GENERAL CONTRACTOR OR OWNER FROM COMPLYING WITH THE ACCESSIBILITY GUIDELINES AND CODES.

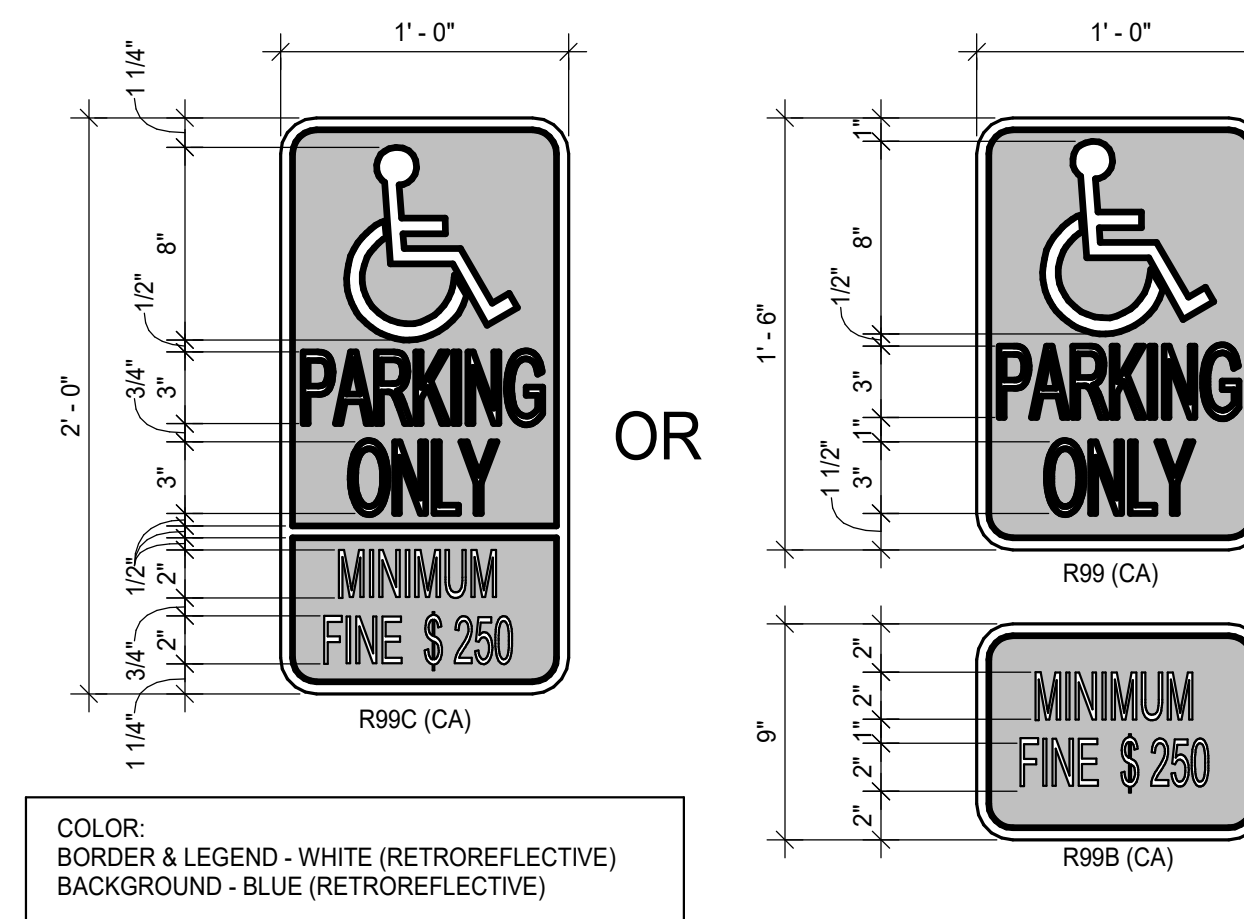
REVISIONS

No.	Description	Date

3 ACCESSIBLE SIGNS

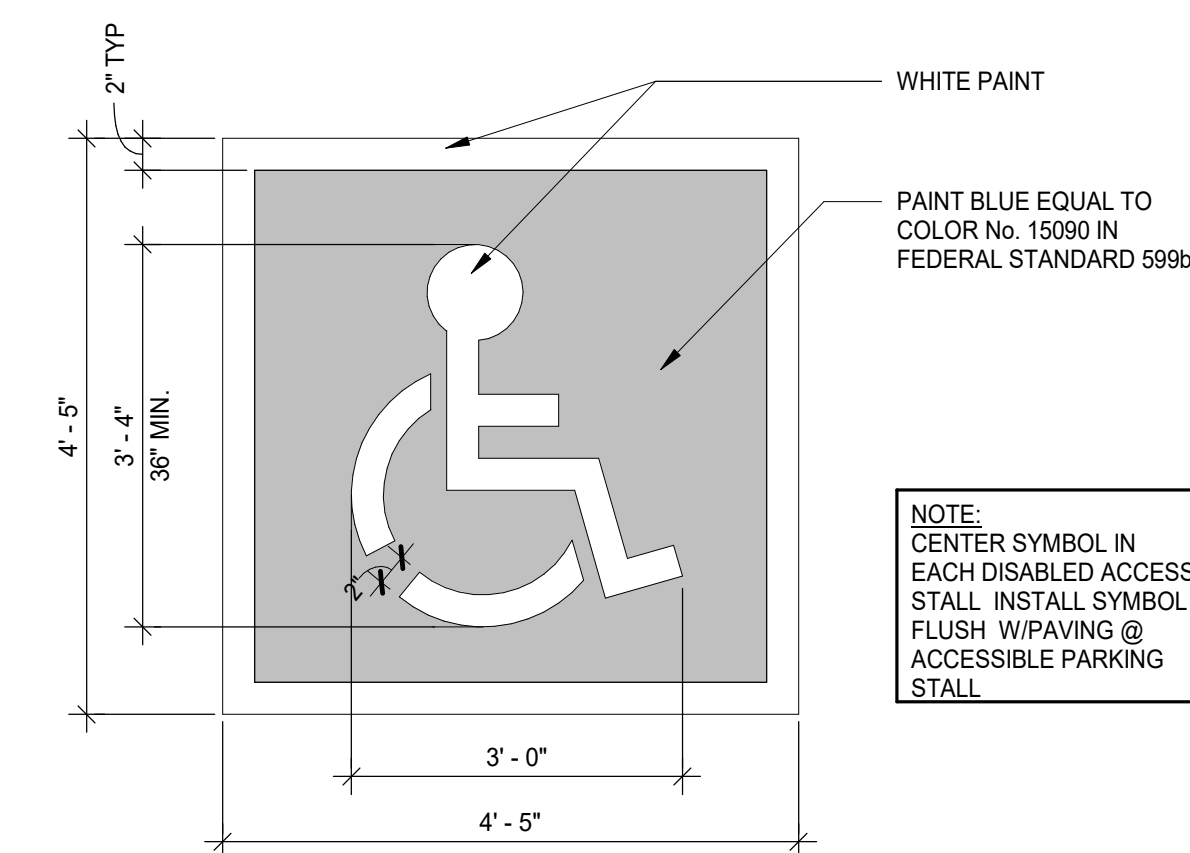


2 VAN ACCESSIBLE PARKING STALL



4 KNEE AND TOE CLEARANCE

1 ACCESSIBLE STALL SYMBOL



212 N YALE ARCHITECTURAL & SITE PLAN REVIEW

JOB SITE:
212 N Yale Ave., Claremont, CA 91711
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(760) 673-6837
PLAN CHECK / JOB NO.
B00-036-177

ACCESSIBILITY DETAILS

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker

A-01

Scale As indicated

REVISIONS

No.	Description	Date
1	BUILDING & PLANNING	05-21-2025

212 N YALE
ARCHITECTURAL & SITE
PLAN REVIEW

JOB SITE:

212 N Yale Ave., Claremont, CA 91711

PHONE:

(760) 673-6837

PLAN CHECK / JOB NO.

B00-036-177

PLAN:

EXISTING & PROPOSED SITE PLAN

Project Number _____ Project Number _____

Date _____ Issue Date _____

Drawn By _____ Author _____

Checked By _____ Checker _____

A-1.0

Scale As indicated

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KEYNOTES:

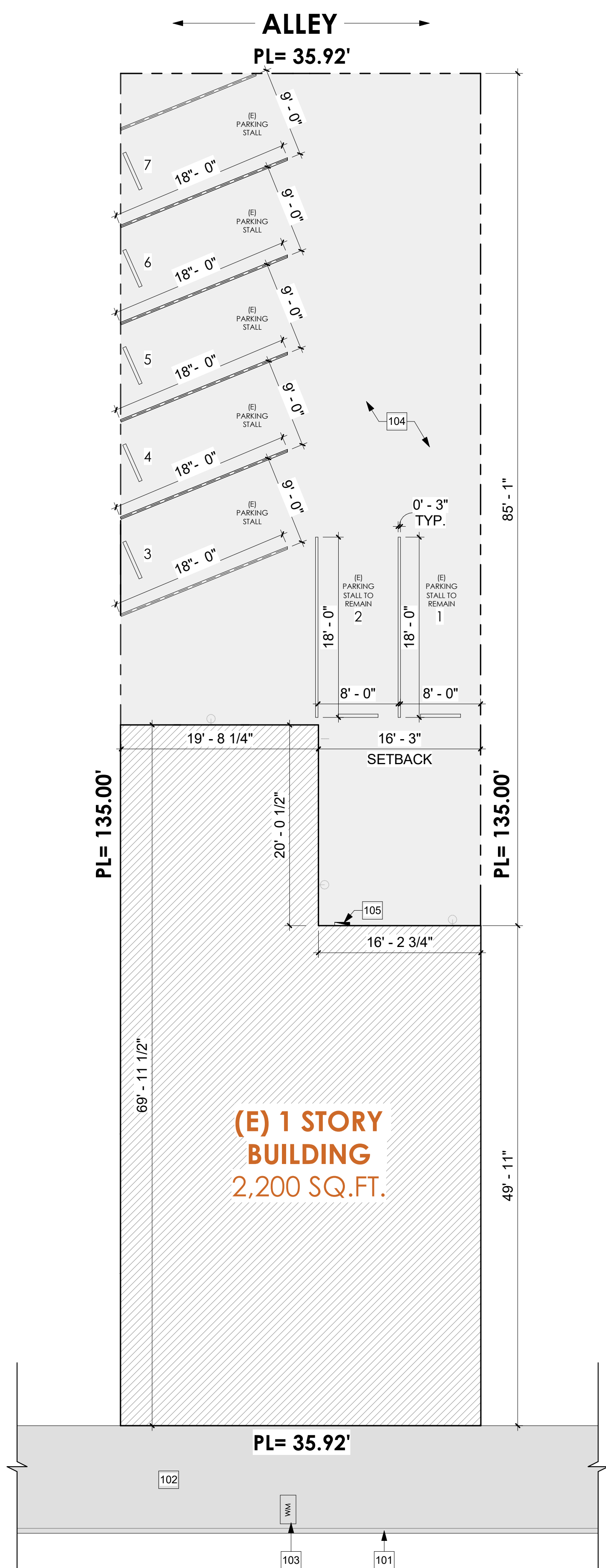
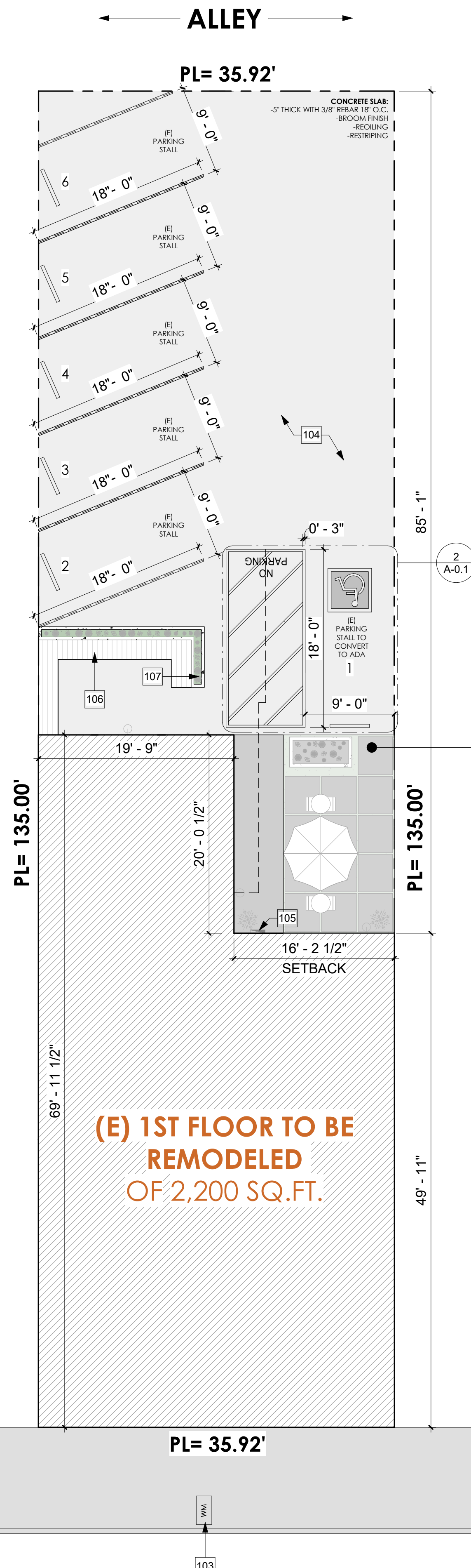
101	(E) CURB TO REMAIN
102	(E) SIDEWALK TO REMAIN
103	(E) WATER METER
104	(E) PARKING TO REMAIN
105	(E) ELECTRICAL METER
106	NEW WOOD BENCH (SEE DETAIL 1/A5.0)
107	NEW PLANTER WALL (SEE DETAIL 1/A5.0)

LEGEND:

	PROPERTY LINE
	AREA OF CONSTRUCTION
	AIR CONDENSER
	TANKLESS WATER HEATER
	GAS METER
	ELECTRICAL METER
	PATH OF TRAVEL

PLANT LEGEND

SYMBOL	ABBREV	BOTANICAL NAME "COMMON NAME"	QTY.	HEIGHT	SPREAD	IRRIGATION
	ROS.	ROSEMARY "SALVIA ROSMARINUS"	PER PLAN	1'-0"	2'-0"	2-3 TIMES PER WEEK
	FESC.	FESCUE GRASS "FESTUCA ARUNDINACEA"	PER PLAN	2'-0"	0'-6"	FREQUENTL Y
	S. MANDA -LISCAE	SENECIO MANDRALISCAE "BLUE SENECIO"	PER PLAN	0'-12"	1'-0"	ONCE PER WEEK
	O. EUROPEA	OLIVE TREE "OLEA EUROPEA"	PER PLAN	20'-0"	15'-0"	2-3 TIMES PER WEEK



OUTDOOR SEATING AREA
(UNDER SEPARATE SUBMITTAL)

(E) 1ST FLOOR TO BE REMODELED
OF 2,200 SQ.FT.

(E) 1 STORY BUILDING
2,200 SQ.FT.



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(760) 673-2550
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NOTES:

- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE DESIGNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE DESIGNER FOR COMPLIANCE REVIEW BEFORE PROCEEDING WITH FABRICATION.
- ALL DIMENSIONS ARE TO FINISH UNLESS NOTED OTHERWISE.
- USE 2X6 STUDS ON PLUMBING WALLS (VERIFY LOCATIONS WITH DESIGNER)
- DO NOT SCALE DRAWINGS.
- PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- PROVIDE MIN. 6" HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
- SMOKE ALARMS SHALL BE LOCATED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING.
- CARBON MONOXIDE ALARM: FOR BUILDINGS WITH FUEL-BURNING APPLIANCES AND/OR ATTACHED GARAGES, PROVIDE AN APPROVED CARBON MONOXIDE ALARM AT:
 - OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 - ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
 - PROVIDE A NOTE: CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP.
 - BATTERY CARBON MONOXIDE ALARM SEP. BE PERMITTED IN EXISTING DWELLING UNITS WHERE NO CONSTRUCTION IS TAKING PLACE. (VERIFY)
- ELECTRICAL FIRE PLACE, MANUFACTURE: MODERN FLAMES (SEE SPECIFICATION SHEET AT GN-3)
- INSTALLATION AND USE OF FIREPLACE SHALL BE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
- WOOD BURNING FIREPLACES AND OTHER WOOD BURNING DEVICES ARE PROHIBITED.
- THIS PROJECT SHALL COMPLY WITH CBC 11B-202.3 AND 11B-202.4. ALL NEW CONSTRUCTION AND ALTERATIONS SHALL MEET CURRENT ACCESSIBILITY STANDARDS. PATH OF TRAVEL ELEMENTS FROM THE PUBLIC RIGHT-OF-WAY AND PARKING TO THE ALTERED AREA SHALL BE REVIEWED AND UPGRADED AS REQUIRED.

REVISIONS

No.	Description	Date

DOOR SCHEDULE

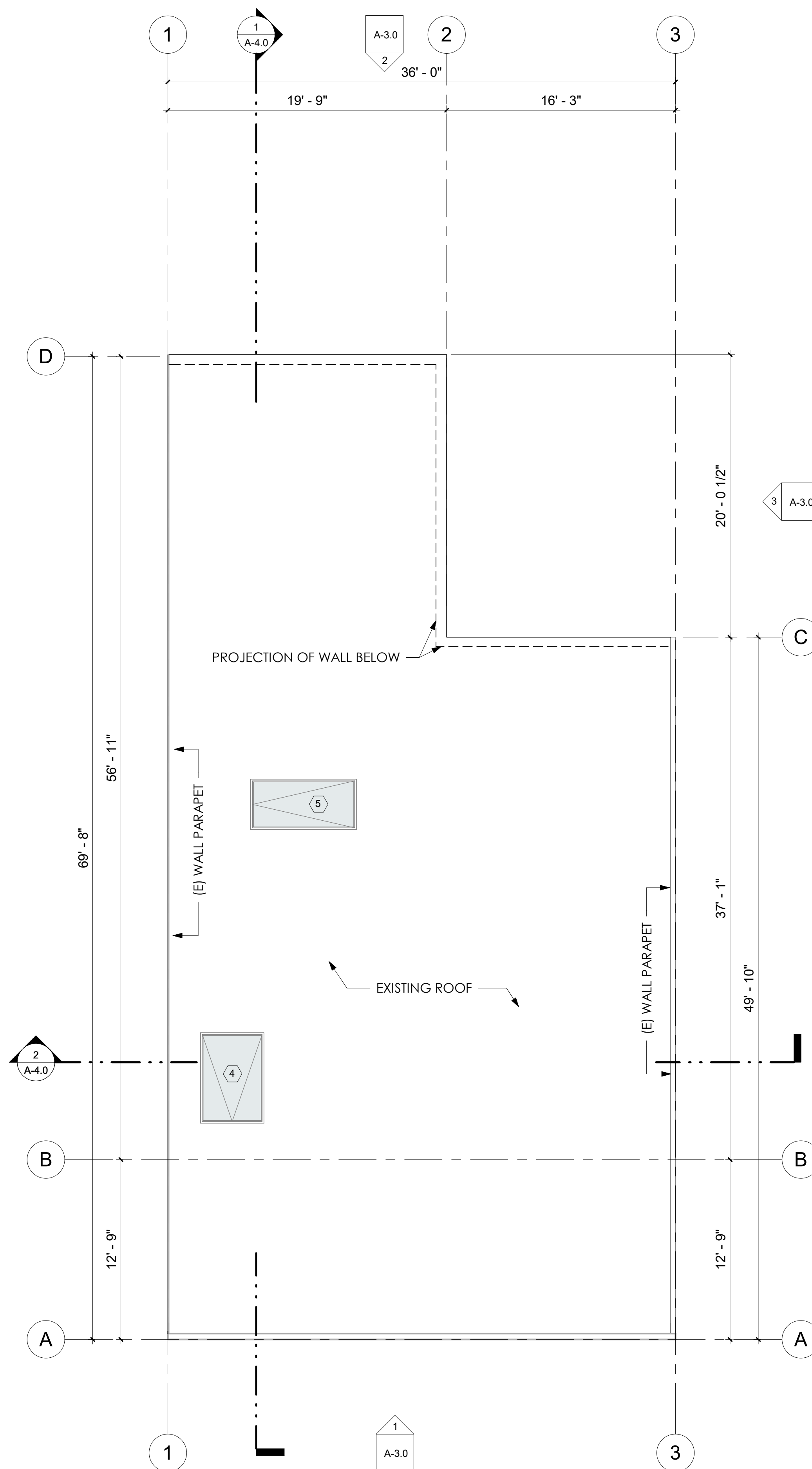
STATUS	SYM	SIZE	TYPE	QTY
EXISTING	A	3'-0" X 6'-8"	GLASS DOOR	4
EXISTING	B	3'-0" X 6'-8"	GLASS DOOR	1
NEW	C	3'-0" X 6'-8"	GLASS DOOR	6
NEW	E	10'-0" X 6'-8"	BI-FOLD DOORS	2
NEW	F	3'-0" X 6'-8"	GLASS DOOR	1
NEW	G	3'-0" X 6'-8"	DUTCH DOOR	1

WINDOW SCHEDULE

STATUS	SYM	SIZE	TYPE	QTY
EXISTING	1	1'-4" X 2'-0"	FIXED WINDOW	2
EXISTING	2	3'-0" X 5'-0"	SINGLE HUNG	1
EXISTING	3	3'-6" X 5'-0"	SINGLE HUNG	1
EXISTING	4	4'-5" X 6'-4"	SKYLIGHT	1
EXISTING	5	53'-6" X 7'-0"	SKYLIGHT	1
EXISTING	6	3'-9" X 7'-11"	FIXED WINDOW	2
EXISTING	7	1'-7" X 4'-9"	FIXED WINDOW	4
EXISTING	8	3'-10" X 7'-11"	FIXED WINDOW	1
EXISTING	9	4'-3" X 7'-11"	FIXED WINDOW	1
EXISTING	10	4'-2" X 7'-11"	FIXED WINDOW	1
EXISTING	11	3'-2" X 3'-10"	ANGLED WINDOW	1
EXISTING	12	3'-9" X 3'-10"	ANGLED WINDOW	1
EXISTING	13	3'-10" X 3'-10"	ANGLED WINDOW	1
NEW	14	3'-0" X 4'-0"	SINGLE HUNG	2

LEGEND:

- 2x STUD WALL TO REMAIN.
- 2x STUD WALL TO BE DEMOLISHED.
- 2x STUDS D.F. No.2 @ 16" O.C. UNLESS OTHERWISE NOTE (SEE STRUCTURAL PLANS)
- 2x FURRING WALL
- INTERCONNECTED HARD-WIRED CARBON MONOXIDE ALARM WITH A BATTERY BACKUP.
- INTERCONNECTED PHOTOELECTRIC SMOKE ALARM. 110 V. / HARD WIRE W/ BATTERY BACKUP. AND BATTERY OPERATE FOR EXISTING LIVING AREA. NOTE: SHALL BE INSTALLED NOT LESS THAN A 3 FT. HORIZONTAL DISTANCE FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER.
- EXHAUST FAN
A - EXHAUST FAN SHALL BE MINIMUM 50 CFM CAPABILITY.
B - EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
C - EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
- EXHAUST FAN WITH 5-AIR CHANGE PER HR. MIN. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. 100 CFM
- INDICATES DIRECTION OF SLOPE
- INDICATES FLOOR DROP
- WINDOW SYMBOL
- DOOR SYMBOL
- MOTION SENSOR
- EXIT SIGN



PROPOSED ROOF PLAN
3/16" = 1'-0"

212 N YALE
ARCHITECTURAL & SITE
PLAN REVIEW

JOB SITE:
212 N Yale Ave., Claremont, CA 91711
PHONE:
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PROPOSED ROOF PLAN

Project Number _____ Project Number _____
Date _____ Issue Date _____
Drawn By _____ J.F.
Checked By _____ Checker _____

A-21

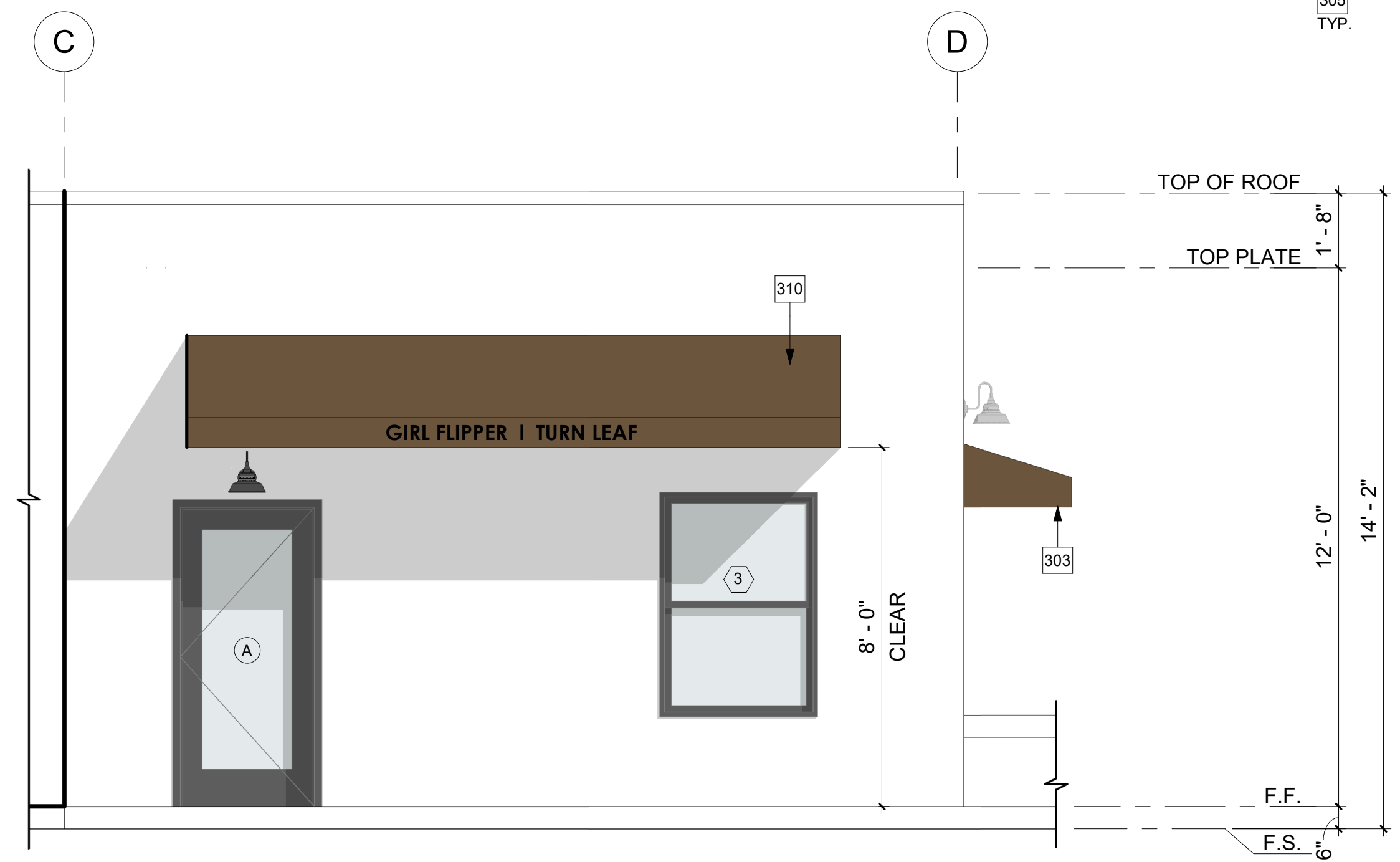
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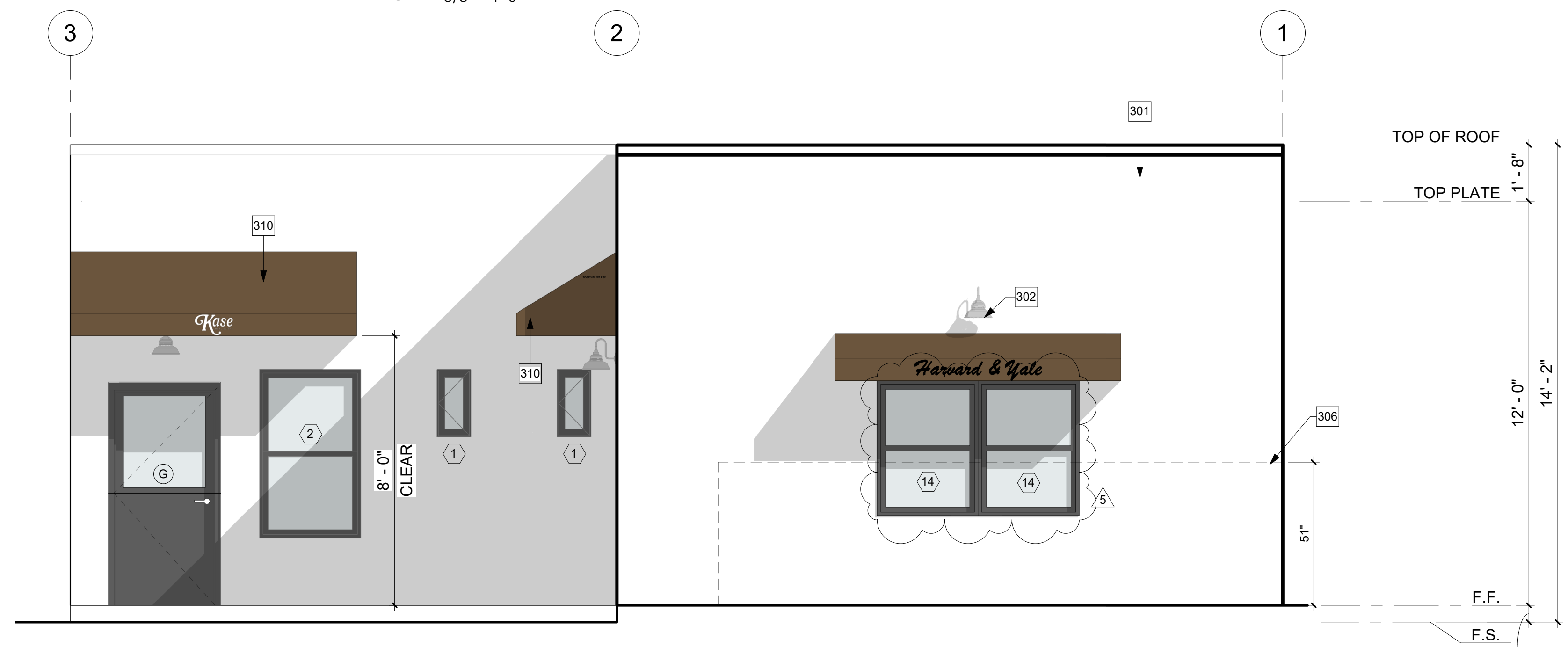
REVISIONS		
No.	Description	Date
5	ARCH. & SITE PLAN REVIEW	07-23-2025



1 WEST ELEVATION
3/8" = 1'-0"



3 SOUTH ELEVATION
3/8" = 1'-0"



2 EAST ELEVATION
3/8" = 1'-0"

KEYNOTES:

301	(E) STUCCO WALL TO REMAIN
302	(E) EXTERIOR LAMP
303	(E) AWNING
304	NEW EXTERIOR TILE
305	NEW STOREFRONT
306	PROJECTION OF PLANTER WALL
310	NEW AWNING

DOOR SCHEDULE				
STATUS	SYM	SIZE	TYPE	QTY
EXISTING	A	3'-0" X 6'-8"	GLASS DOOR	4
EXISTING	B	3'-0" X 6'-8"	GLASS DOOR	1
NEW	C	3'-0" X 6'-8"	GLASS DOOR	6
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WINDOW SCHEDULE				
STATUS	SYM	SIZE	TYPE	QTY
EXISTING	1	1'-4" X 2'-0"	FIXED WINDOW	2
EXISTING	2	3'-0" X 5'-0"	SINGLE HUNG	1
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EXISTING	4	4'-5" X 6'-4"	SKYLIGHT	1
EXISTING	5	53'-6" X 7'-0"	SKYLIGHT	1
EXISTING	6	3'-9" X 7'-11"	FIXED WINDOW	2
EXISTING	7	11'-7" X 4'-9"	FIXED WINDOW	4
EXISTING	8	3'-10" X 7'-11"	FIXED WINDOW	1
EXISTING	9	4'-3" X 7'-11"	FIXED WINDOW	1
EXISTING	10	4'-2" X 7'-11"	FIXED WINDOW	1
EXISTING	11	3'-2" X 3'-10"	ANGLED WINDOW	1
EXISTING	12	3'-9" X 3'-10"	ANGLED WINDOW	1
EXISTING	13	3'-10" X 3'-10"	ANGLED WINDOW	1
NEW	14	3'-0" X 4'-0"	SINGLE HUNG	2

212 N YALE SIGN APPLICATION

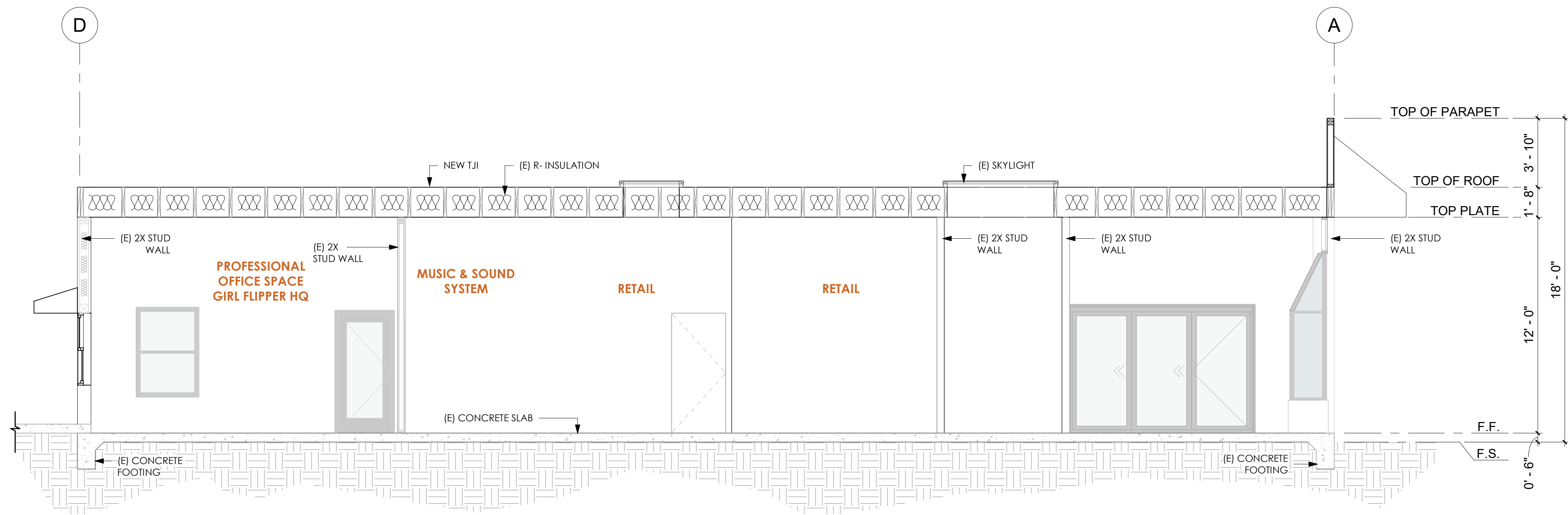
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EXTERIOR ELEVATIONS

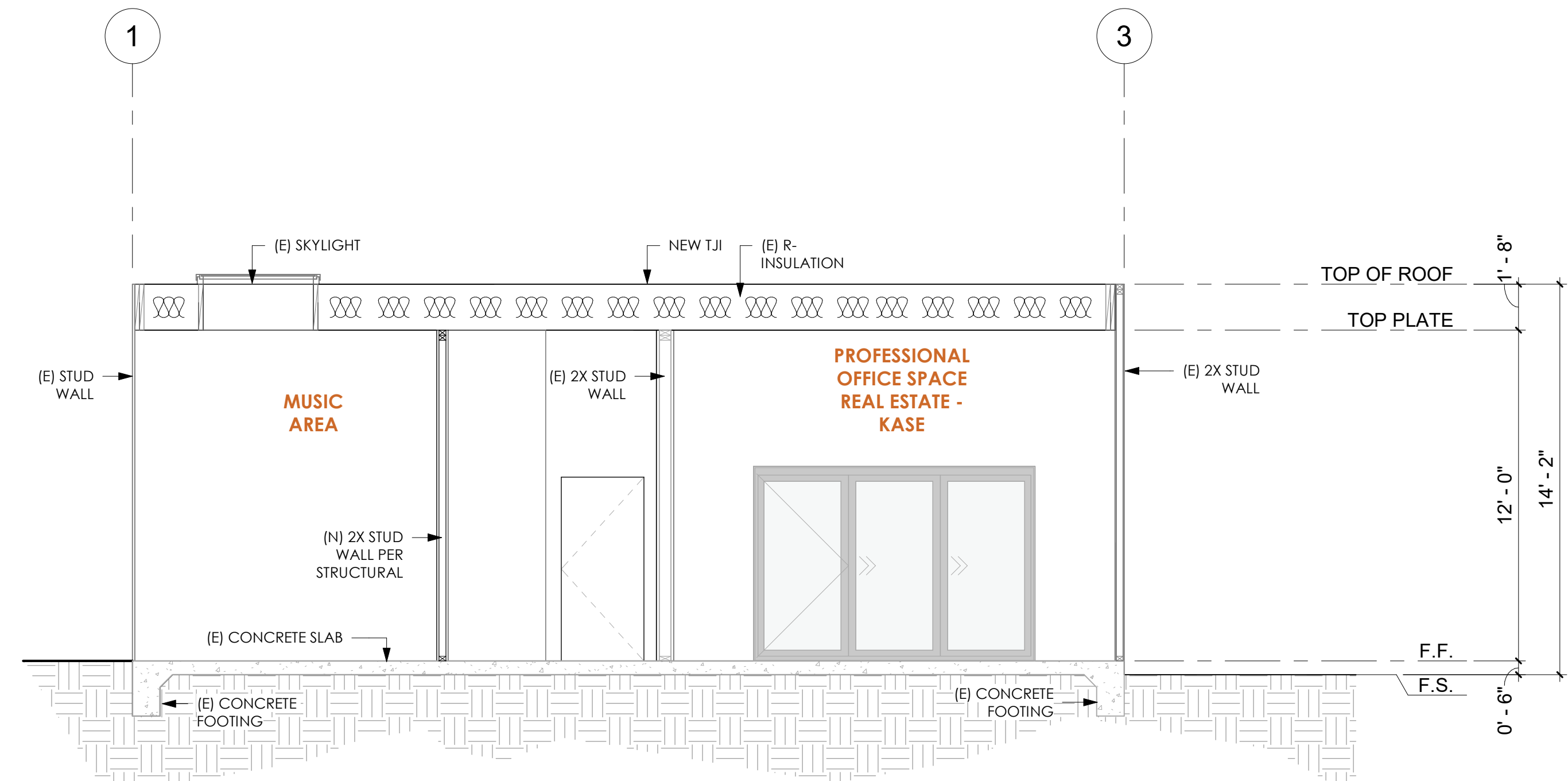
Project Number _____ Project Number _____
Date _____ Issue Date _____
Drawn By _____ J.F.
Checked By _____ Checker _____

A-3.0

Scale 3/8" = 1'-0"



SECTION 1
1/4" = 1'-0"



SECTION 2
1/4" = 1'-0"

REVISIONS		
No.	Description	Date
1	BUILDING & PLANNING	05-21-2025

212 N YALE
ARCHITECTURAL & SITE
PLAN REVIEW

JOB SITE:
212 N Yale Ave., Claremont, CA 91711
PHONE:
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PLAN CHECK / JOB NO.
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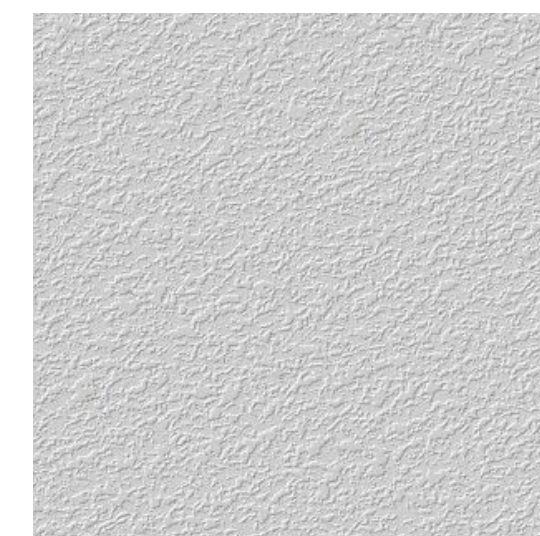
SECTIONS

Project Number	Project Number
Date	Issue Date
Drawn By	J.F.
Checked By	Checker

A-4.0



TILE:
 MANUFACTURER: TILEBAR
 BRICK RUSTICO
 NEPO BROWN
 MATTE
 2CM PORCELAIN PAVER
 3"x12"



FINISH:
 (E) WHITE STUCCO



AWNING:
 MANUFACTURER: SUNBRELLA®
 AWNING FABRIC: TRUE BROWN
 SKU 4621-0000
 FINISH: WATER REPELLENT
 FABRIC CONTENT: 100% SUNBRELLA® ACRYLIC



MULLION:
 COLOR:
 BLACK METAL



NEW GLASS DOOR:
 MATERIAL: GLASS
 AND ALUMINUM,
 TO MATCH
 EXISTING DOOR.
 NOTES: REFER TO
 DOOR SCHEDULE –
 TYPE F FOR
 DETAILED
 SPECIFICATIONS

NOTE: SIGNAGE AND AWNINGS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. A SEPARATE SIGNAGE APPLICATION WILL BE SUBMITTED FOR REVIEW AND APPROVAL.

**3
SIX
NINE**
ARCHITECTS

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 Pasadena, CA 91105
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 (760) 673-2550
 info@369architects.com

REVISIONS

No.	Description	Date
5	ARCH. & SITE PLAN REVIEW	07-23-2025

212 N YALE
 ARCHITECTURAL & SITE
 PLAN REVIEW

JOB SITE:

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 91711

PHONE:

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PLAN CHECK / JOB NO.

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PLAN:

MATERIAL BOARD

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker

A-6.0

Scale

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Claremont Architectural and Preservation Commission

Agenda Report

File #: 5694

Item No: 6.

TO: ARCHITECTURAL AND PRESERVATION COMMISSION
FROM: BRAD JOHNSON, COMMUNITY DEVELOPMENT DIRECTOR
DATE: SEPTEMBER 10, 2025

SUBJECT:

ARCHITECTURAL AND SITE PLAN REVIEW #24-A11, PROPOSED NEW THREE-STORY MIXED USE RESIDENTIAL BUILDING IN THE CLAREMONT VILLAGE LOCATED AT 115 HARVARD PLACE - APPLICANT - THE TUCKER SCHOEMAN VENTURE

SUMMARY

The applicant, The Tucker Schoeman Venture, is requesting approval of an Architectural and Site Plan Review to permit the approval of a new three-story mixed-use residential building in the Claremont Village, which is accessed only by the alley located behind the Claremont Post Office. This new building will be constructed next to the existing historic structure, commonly known as the Carriage House, built in 1902. No parking is offered to be provided as part of the project. Pursuant to AB 2097, a new State law that went into effect on January 1, 2023, cities may not impose minimum parking requirements on residential, commercial, or other development projects if the project is within one-half mile of a public transit, as is the case for the subject property. The design of the project is contemporary and includes high quality materials including brick-red stucco, metal railings, zinc accent siding, and wood casement windows with divided-lites.

Staff believes that the proposed design of the building is consistent with the Claremont Municipal Code (CMC), General Plan, and Village Design Plan, and that all the required architectural and site plan review criteria can be made.

RECOMMENDATION

Staff recommends the Architectural and Preservation Commission:

- A. Adopt a RESOLUTION OF THE ARCHITECTURAL AND PRESERVATION COMMISSION OF THE CITY OF CLAREMONT, CALIFORNIA, APPROVING ARCHITECTURAL AND SITE PLAN REVIEW #24-A11, REVIEW OF PROPOSED NEW THREE-STORY MIXED USE RESIDENTIAL BUILDING IN THE CLAREMONT VILLAGE LOCATED AT 115 HARVARD PLACE - APPLICANT - THE TUCKER SCHOEMAN VENTURE; and
- B. Find this items is exempt from environmental review under the California Environmental Quality Act (CEQA)

ALTERNATIVES TO RECOMMENDATION

In addition to the recommendation, there are the following alternatives:

- A. Continue the item for additional information.
- B. Approve the project with additional or revised Conditions of Approval.
- C. Express an intent to deny the proposal in its entirety, specifically identifying the findings of Section 16.300.060.A of the Claremont Municipal Code that cannot be met, and continue the item to September 24, 2025, for adoption of a denial resolution.

FINANCIAL REVIEW

Costs associated with the review of this application have been borne by the applicant.

ANALYSIS

Background

The project site is a rectangular property of approximately 3,286-square feet located in the center of the block between North College Avenue and North Harvard Avenue. The site is located in the Claremont Village Overlay (CVO) zoning district, which is intended to encourage a complementary mix of small-scale retail stores, commercial services, restaurants, offices, and civic uses within a small-town, pedestrian-oriented district. The property has a corresponding General Plan designation of Claremont Village. Residential uses are permitted in the Village where consistent in character with the commercial uses and as part of a mixed-use development as described below. While retail and service commercial are the predominant uses in the CV, this site is located in the center of a block, at the edge of the district, and can be accessed only by an existing public alley. Uses surrounding the subject property include the Post Office to the north, Village Dance Arts and Grafted Cellars to the south, and Crème Bakery to the west. Located to the east across the public alley is Sumner House, a three-story Victorian home that has been carefully restored and now serves as a guest residence and meeting space for visiting Pomona College faculty, staff, and lecturers.

The subject property is currently developed with an existing 1,340-square-foot residential building that was built circa 1902 as a barn. This building is thought to have originally served Sumner House due to its early-American farmhouse styling that includes Victorian influences. The building is two stories tall and includes a large cupola at the peak of the roof. Remnants of the original barn doors and second floor hay door and winch post remain. The building has had multiple uses (restaurant, Rotary Club and American Legion Post meeting house, residence and apartments) since the time carriage houses were no longer prevalent. The structure underwent a major renovation in 2024 and currently serves as a two-unit residential apartment building.

Section 16.060.010.G of the Claremont Municipal Code (CMC) allows mixed residential/commercial developments in the Claremont Village with approval of a conditional use permit. This section of the Code specifies that residential uses must be part of a larger mixed-use development that includes commercial uses on the ground floor and encourages residential uses to be located on the second floor above commercial uses.

CMC Section 16.060.030.A.5 requires one off-street parking space for each dwelling unit in the Village; however, the City can no longer impose minimum parking requirements for development projects within one-half mile of public transit pursuant to AB 2097. Because, the subject property is located approximately 900 feet, well within one-half mile, of the Claremont Depot Metrolink station, it qualifies for AB 2097 parking waivers. The project includes no new parking spaces and will likely result in the loss of the one to two vehicle spaces that currently exist on the property in order to accommodate an ADA-accessible path of travel to the new building. As a result, vehicle parking will no longer be accommodated on the property once the project is completed.

Project Description

The proposed project involves the development of a new 2,715-square-foot, three-story mixed-use building on a lot currently improved with a historic two-story, 1,320-square-foot residential structure. The new building will include one commercial unit and four residential units, consisting of two studio units and two three-bedroom units. The proposed units vary in size. The studio units, apartments A and B, are 216 and 266 square feet in size respectively. Apartment C is 825 square feet and Apartment D is 792 square feet.

Architecturally, the proposed building features a contemporary design characterized by a rectilinear form, flat roof, and a modern material palette. The proposed architecture is representative of a design quality, massing, and a material palette that is consistent and appropriate for urban infill development in the Village. The primary exterior cladding will be a smooth exterior plaster finish in a deep red tone with zinc shingle accents to introduce texture and contrast along select façade elements. Aluminum-clad wood windows and doors and a painted steel external staircase with precast concrete treads and iron guardrails. Additionally, select units feature aluminum Juliet balconies with iron railings that match the external stairs, along with a painted aluminum trellis on the third story that adds articulation to the façade.

The new building will be located in the southwest corner of the property, with zero setbacks along the western and southern property lines. In accordance with Claremont Village zoning development standards, no setbacks are required where the site does not abut residentially zoned properties. Furthermore, while the CVO Overlay permits storefront window systems, they are not required. Commercial spaces designated as “CVO with display window” are generally restricted to retail uses. In light of existing parking conditions on the site, the applicant has elected not to include a display window system, thereby allowing for office and professional land uses within the commercial tenant space. Additionally, the proposed building height is 32 feet, which is within the maximum allowable height of 40 feet for the zone. Additionally, the project complies with the zone’s three-story height limitation.

Overall, the project integrates outdoor access through an exterior stairway and incorporates architectural and site design features that contribute to pedestrian interest and enhance the visual character of the site. The proposed project meets all the development standards of the Claremont Village (CV) zoning district as set forth in Section A of the Draft Resolution (Attachment A). The project plans are included as Attachment B and include colors and materials.

Village Design Plan

New development in the CV zone is also subject to the Claremont Village Design Plan (VDP); a City policy document that includes extensive design guidelines intended to enrich and preserve the Village. The City is required to find new development to be in conformance with the VDP in addition to the standard design review findings contained in Section 16.300.060.A of the Municipal Code.

The VDP places the subject property in “Design Area III - Residential”, which is intended to maintain the residential character and appearance of Area III while facilitating commercial activity within it. The VDP classifies the existing carriage house building at 115 Harvard Place as a “Significant Building,” which means it is one of the most important buildings and helps to give the Village its character and feeling. Design guidelines for Area III of the VDP include recommendations that new development:

1. Include inner block parking (as opposed to street adjacent parking lots),
2. Not exceeding 35 feet in height,
3. Retain landscaping in parkways and front yards to blend with transitioning residential character of the area,
4. Retain setback consistent with surrounding development, and
5. Demolition of existing residential structures is discouraged.

These guidelines are being observed or are not applicable as described below:

1. The building does not include parking so the guideline to place parking mid-block does not apply.
2. The 35-foot height limit applies and is being observed.
3. Retention of landscaping in the parkways is not applicable as there are no parkways adjacent to the subject property.
4. Retain setbacks with surrounding development is applicable, but the surrounding properties include primarily no setbacks, so the proposed setbacks are consistent.
5. Demolition of existing residential structures is being observed as no residential structure is being demolished as a result of the project.

The VDP also includes general guidelines for new development such as:

1. Retain significant buildings
2. Complement the existing scale, materials, and proportions of surrounding buildings
3. Quality materials should be used.
4. Avoid alterations which seek to create an earlier or thematic appearance such as “Colonial Williamsburg”.
5. New construction should attempt to blend with the proportion and rhythm of windows and doors in surrounding buildings.

These guidelines are being observed or are not applicable as described below:

1. The existing significant building identified on site will be maintained and preserved as part of the project proposal.
2. The scale and proportions of proposed building are in keeping with the surrounding buildings and comply with the development standards for the zone. The proposed terracotta red color further helps the structure recede on site and ties the structure to many other buildings along Harvard Ave that incorporate red tile roofing.
3. The proposal includes a variety of high quality materials and details including aluminum-clad wood windows and custom detailing on the external stair railing.
4. The proposed project is not an alteration nor does it attempt to replicate or distract from the authenticity of the historically significant building on site by replicating a similar historic appearance.
5. The proposal includes recessed multi-pane divided-light windows which blend with the variety of commercial and residential window treatments found in the buildings surrounding the subject property.

The Design guidelines for Area III of the VDP as well as staff’s rationale for how the proposed project

is consistent with the VDP are described in detail in the draft approval resolution (Attachment D).

Basis for Recommendation

Staff finds the design of the proposed project is appropriate and in keeping with the standards of the underlying zoning district. Staff finds that the proposal satisfies all of the architectural design review criteria listed in CMC Section 16.300.060.A for all of the reasons stated in the draft approval resolution. The proposed development is designed appropriately by incorporating quality details, materials, and colors that are generally consistent with the styling and scale of adjacent buildings in the Village. The design of the proposed building addresses the widespread need for more housing and density, particularly near to public transit, while respecting the character of the surrounding neighborhood. The proposal also complies with setbacks, height, design guidelines, and all other development standards, notwithstanding parking requirements, which are set forth in the Code but are superseded by novel State laws. As such, staff recommends that the Architectural and Preservation Commission approve the proposed design with the applicable conditions of approval.

CEQA REVIEW

This proposal is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32) for in-fill development projects, in that the project is consistent with the General Plan and with the applicable zoning regulations in that the project site is designated and zoned for mixed-use development. The project is on a site of no more than five acres surrounded by urban uses, including residential and commercial uses. The site has no value as habitat for endangered, rare, or threatened species, as it is already developed. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. The property is located within a fully urbanized area and is served by existing infrastructure and public services, including water, sewer, electricity, fire protection, police, and solid waste.

In addition, the structure is exempt under 15303 (b.) as it is a multi-family residential structure totaling no more than four dwelling units in an urbanized area and under 15303 (c.) for an office professional use not exceeding 2,500 square feet in floor area.

Lastly, Exception 15.300.2 (f) does not apply as the proposed building has been designed and sited in a manner that avoids resulting in a substantial adverse change to the historic resource. Specifically, the new three-story structure will be located at the rear of the property and at a slightly lower grade behind the historic building, thereby preserving the historic structure's visibility, prominence, and relationship to the street. The proposed development will not alter the character-defining features, materials, or design integrity of the historic resource.

Therefore, no further environmental review is required under CEQA.

PUBLIC NOTICE PROCESS

The agenda and staff report for this item has been posted on the City website and distributed to interested parties. If you desire a paper copy, please contact Pearl Juarez at pjuarez@claremontca.gov.

As a courtesy, notice of this meeting was mailed to properties adjacent to the subject property on September 4, 2025. A copy of this report has been sent to the applicant and other interested parties.

Submitted by:

Brad Johnson
Community Development Director

Prepared by:

Jordan Goose
Assistant Planner

Reviewed by:

Christopher Veirs
Principal Planner

Attachments:

A - Draft Resolution
B - Proposed Plan Set

RESOLUTION NO. 2025-

A RESOLUTION OF THE ARCHITECTURAL AND PRESERVATION COMMISSION OF THE CITY OF CLAREMONT, CALIFORNIA, APPROVING ARCHITECTURAL AND SITE PLAN REVIEW #24-A11, REVIEW OF PROPOSED NEW THREE-STORY MIXED USE RESIDENTIAL BUILDING IN THE CLAREMONT VILLAGE LOCATED AT 115 HARVARD PLACE – APPLICANT – THE TUCKER SCHOEMAN VENTURE

WHEREAS, on December 16, 2024, the applicant filed a request to develop a new three-story mixed-use residential building in the Claremont Village located at 115 Harvard Place; and

WHEREAS, the subject property is identified to be developed with an existing building listed as a historic resource listed on the City's Register of Structures of Historic and Architectural Merit (Register); and

WHEREAS, on August 28, 2025, a notice of public hearing regarding the Architectural and Preservation Commission review of the design of the proposed mixed-use residential building was mailed to surrounding property owners and residents in the vicinity of the subject site; and

WHEREAS, the Architectural and Preservation Commission held a public hearing on September 10, 2025, at which time all persons wishing to testify in connection with the revised proposal were heard and said proposal was fully studied.

NOW, THEREFORE, THE CLAREMONT ARCHITECTURAL AND PRESERVATION COMMISSION DOES HEREBY RESOLVE:

SECTION 1. The Architectural and Preservation Commission has determined that the proposal is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15332 (Class 32) for in-fill development projects, in that the project is consistent with the General Plan and with the applicable zoning regulations in that the project site is designated and zoned for mixed-use development. The project is on a site of no more than five acres surrounded by urban uses, including residential and commercial uses. The site has no value as habitat for endangered, rare, or threatened species, as it is already developed. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. The property is located within a fully urbanized area and is served by existing infrastructure and public services, including water, sewer, electricity, fire protection, police, and solid waste. In addition, the structure is exempt under 15303 (b.) as it is a multi-family residential structure totaling no more than four dwelling units in an urbanized area and under 15303 (c.) for an office professional use not exceeding 2,500 square feet in floor area. Lastly, Exception 15.300.2 (f) does not apply as the proposed building has been designed and sited in a manner that avoids resulting in a substantial adverse change to the historic resource. Specifically, the new three-story structure will be located at the rear of the property and at a slightly lower grade behind the historic building, thereby preserving the historic structure's visibility, prominence, and relationship to the street. The proposed development will not alter the character-defining features, materials, or design integrity of the historic resource. Therefore, no further environmental review is required under CEQA.

SECTION 2. The Architectural and Preservation Commission finds that the review criteria of Section 16.300.060.A of the Claremont Municipal Code (CMC) can be met in regard to the above-described project as follows:

- A. **Conformity with Development Standards** – The proposed mixed-use residential development is in conformity with all development standards for the Claremont Village zoning district as follows:
1. **Setbacks:** No setbacks are required in the Claremont Village zoning district unless the lot abuts a residential district, which is not the case for the subject property. The proposed building will be built out to the lot's property lines along the western and southern facades.
 2. **Building Height:** The proposed building has a maximum height of 31 feet to the top of the parapet which is less than the maximum allowable height of 40 feet.
 3. **Parking:** The project is subject to the provisions of Assembly Bill 2097 (AB 2097), which prohibits local jurisdictions from imposing minimum parking requirements on projects located within one-half mile of a major public transit stop. Due to the property's proximity to the Claremont Metrolink Station, AB 2097 applies to this project. The subject property will offer no parking spaces after the construction of the new mixed-use building. It should be noted that vehicles are currently being parked on the property; however, following construction, the site will be required to always maintain an adequate and ADA-accessible path of travel. As a result, vehicle parking will no longer be permitted on the property once the project is completed.
- B. **General Plan Consistency** – The proposed addition is consistent with the following goals/policies of the Claremont General Plan:
1. Utilizing mixed-use development to create unique and varied housing, where appropriate (Policy 2-3-1) in that the proposed development maximizes the use of a sub-standard parcel, requiring a creative solution to provide much needed housing for the Claremont community; and
 2. A variety of architectural styles for new and renovated structures that reflect the local architectural characteristics (Policy 2-11.1) as the proposed design integrates outdoor access through an exterior stairway and incorporates architectural and site design features that contribute to pedestrian interest and enhance the visual character of the site; and
 3. *Require that new construction, additions, renovations, and infill developments be sensitive to neighborhood context and building forms and scale. (Policy 2-11.3),* in that the design of the proposed building addresses the widespread need for more housing and density, particularly near to public transit, while respecting the character of the surrounding neighborhood.
- C. **Compatibility of Form with Surrounding Development** – Architecturally, the proposed building features a contemporary design characterized by a rectilinear form,

flat roof, and a modern material palette. The proposed architecture is representative of a design quality, massing, and a material palette that is consistent and appropriate for urban infill development in the Village. The proposal also complies with setbacks, height, design guidelines, and all other development standards, notwithstanding parking requirements, which are set forth in the Code but are superseded by novel State laws.

- D. **Compatibility of Quality with Surrounding Development** – The proposed project employs high-quality materials and a well-considered approach to infill development that is consistent with its Village surroundings in terms of quality and architectural character.
- E. **Internal Consistency of Design** – The proposed project treats all building elevations in a consistent manner allowing the building to respect its context in the Claremont Village and remain an inviting but non-imposing mixed-use residential building.
- F. **Privacy** – The proposed development is designed to respect the privacy of adjacent properties to the greatest extent possible. The project is sensitively designed, appropriate in scale and orientation given the limitations of the site, and consistent with the mix of surrounding uses so that it will not unduly impact adjacent properties.
- G. **Internal Circulation** – The project design provides for adequate and safe pedestrian circulation. The project provides adequate internal circulation throughout the property by providing two possible entry points along the alley allowing for ease of access to the various tenants occupying the mixed-use residential building and the existing residential building on site.
- H. **Sustainability** – The proposed building modifications will be energy efficient, as it will be required to meet all applicable sustainability codes and guidelines adopted by the City as well as the state’s new green building code.
- I. **Tree Preservation** – The proposed project is located on a previously developed lot as to preserve and retain existing on-site vegetation to the greatest extent possible as it has been designed and no significant mature trees are impacted by the project. The existing Chinese Elm tree located near the existing building on site will be preserved and protected throughout construction of the proposed building.
- J. **Light and Air** – The proposed development will not unreasonably impinge on neighbors’ existing access to light or use of prevailing winds for natural ventilation or cast a shadow over an existing solar energy system (active or passive).
- K. **Environmental Protections** – The proposed development has been reviewed pursuant to the requirements of the California Environmental Quality Act (CEQA), for the reasons stated above in Section 1.
- L. **Health and Safety** – The visual effect of the development from view from adjacent public streets and neighborhoods will not be detrimental to the public interest, health, safety, convenience, or welfare as the proposed building is well-designed to maximize the use of the relatively small parcel while still remaining unimposing within the contest

of the Village and will result in inviting new commercial space and residential units for the benefit of Claremont's residents and visitors.

SECTION 3. The Architectural and Preservation Commission further finds that the review criteria of Section 16.300.060.B of the Claremont Municipal Code (CMC), regarding conformity of the proposed development with the Claremont Village Design Plan (CVDP) can be met regarding the above-described project as follows:

- A. **Inner Block Parking** – The proposed development includes no parking so the guideline recommending all parking to be located on the interior of the development where they are not visible from the street is being observed.
- B. **Retain Landscape Parkways** – The subject property is located mid-block and has no parkways. No parkways are affected and all are being retained on the block.
- C. **Height Limit** – The proposed building observes the height limit guideline in the VDP of 35 feet.
- D. **Retain Landscaped Front Yards** – The project is located mid-block and has no street facing “front yard” area. All new construction is located at the back of the lot and no alley-adjacent parking is being impacted.
- E. **Preserve Existing Residential Buildings** – The existing residential building on the site is being retained.
- F. **Use of Quality Materials** – The proposal includes a variety of high quality materials and details including aluminum-clad wood window and custom detailing on the external stair railing.
- G. **Complement Scale, Materials, and Proportions of Surrounding Buildings** – The scale and proportions of the proposed building are in keeping with the surrounding buildings and comply with the development standards for the zone. The proposed terracotta red color further helps the structure recede on site and ties the structure to many other buildings along Harvard Ave that incorporate red tile roofing.

SECTION 4. The Architectural and Preservation Commission hereby approves Architectural and Site Plan Review #24-A11, based on the review criteria of Section 16.300.060 of the Claremont Municipal Code outlined in Section 2, above, and subject to the following conditions:

- A. This approval is for the development of a new 2,715-square-foot, three-story mixed-use building at 115 Harvard Place, as shown on the site plan, floor plans, roof plan and elevations indicated on the project plans and as described in the Architectural and Preservation Commission staff report.
- B. Plans submitted for plan check shall be in substantial compliance with the plans approved as part of Architectural and Site Plan Review (#24-A11). If the plan check submittal is not in substantial compliance with the approved design review submittal, the plans may require further staff review and re-notification of the surrounding

property owners, which may delay implementation of the project and require additional fees.

- C. This approval is valid for two years from the date of Architectural and Preservation Commission action. If building permits are not issued, or a time extension has not been granted during this time frame, this approval shall automatically expire without further action by the City. The Director of Community Development is authorized to grant a one-year extension upon written request from the applicant indicating that there were unavoidable delays.
- D. Prior to the issuance of building permits, the applicant shall:
 - 1. Ascertain and comply with all requirements of the City's Building and Engineering Divisions, including the submittal of complete architectural, electrical, mechanical, and structural plans duly wet stamped and signed by a licensed architect or engineer. The construction documents submitted for plan check shall be in substantial conformance with those approved by Planning Division staff.
 - 2. Obtain an on-site improvement permit from the Engineering Division.
 - 3. Ascertain and comply with the requirements of the Los Angeles County Fire Department.
 - 4. Pay any/all outstanding development review fees associated with Architectural and Site Plan Review File #24-A11.
 - 5. Pay all applicable permit and development fees including, but not limited to, fire facility, plan check fees, and outstanding development review fees, as established by City ordinances and resolutions. These fees include, but are not limited to, the following:
 - a. Transportation Impact Fees;
 - b. Fire Facility Fees;
 - c. School Impact Fees;
 - d. Drainage Fees;
- E. Prior to issuance of demolition, grading/on-site improvement or building permits, the applicant shall:
 - 1. Provide city staff with a signed statement from the contractor, acknowledging receipt of these conditions of approval and any additional city reviews that have applicable conditions of approval. The signed statement shall state that the contractor understands that violation of these conditions of approval is a misdemeanor under the Claremont Municipal Code.
 - 2. Provide to City staff and receive approval from the City Engineer of a detailed plan regarding the construction fencing, contractor parking, construction truck routing, materials staging, and street, sidewalk, and bike route closures for the construction

of the Project. A complete construction management plan, parking plan, and construction schedule must be submitted.

3. In the event that an on-site improvement permit is required; submit a stamped and signed grading/drainage and on-site improvement plan, prepared by a licensed Civil Engineer per attached Preparation of Grading Plan requirements. At a minimum, such plan shall include the following:
 - a. Delineate all proposed improvements.
 - b. Delineate all property lines.
 - c. Show all existing and proposed easements.
 - d. No structures shall be placed on any part of the City of Claremont's easements except those directly related to the purposes of said easement.
 - e. Clearly identify public right of way improvements.
 - f. Delineate finished floor elevations.
 - g. Delineate flow line/proposed drainage.
 - h. Show any utility boxes found on the property. If relocation is necessary, the applicant shall make adequate arrangements with applicable utility companies.
 - i. Show summary of earthwork volumes.
 - j. Show City trees and tree protection in accordance with tree protective mitigation measures.
 - k. Show existing trees, trees to be removed, and trees to be protected in place in accordance with tree protective mitigation measures.
 - l. Show proposed sewer connection. Show installation of backflow prevention device if upstream manhole is not lower than finished floors of all buildings. If existing sewer lateral is proposed to be used, the applicant shall have a video inspection performed and provide a copy of the video which demonstrates that the lateral is in good condition. Denote the underground location of various utilities to serve the site. All utilities shall be placed underground in accordance with Chapter 16.151 of the Claremont Municipal Code.
 - m. Be in compliance with any applicable MS4 permit requirements subject to the review and approval of the City Engineer. The developer shall work with the City's MS4 consultant (at the applicant's expense) to ensure compliance with all applicable MS4 requirements.
 - n. Submit a compaction test for grading pad(s).
 - o. Prepare and submit a soils report, which addresses the geology, stability of the site, and grading requirements. Following rough-grade completion, compaction tests shall be conducted within the pad areas and compaction test reports shall be submitted to the City.
4. Be in compliance with all water, wastewater, and hydrological requirements. This includes, but is not limited to:

- a. Maximize the percentage of pervious surfaces to allow percolation of stormwater into the ground.
 - b. Minimize the quantity of storm water directed to impervious surfaces and the City's Municipal Separate Storm Water Sewer System (MS4).
 - c. Direct roof-runoff to landscaped areas.
 - d. Do not discharge site drainage through underground pipes or any other conveyance to the City's MS4.
- F. The developer shall protect downstream properties from damages caused by alteration of the drainage patterns, i.e., concentration or diversion of flow. Protections shall be provided by constructing adequate drainage facilities or by securing a drainage easement or by both.
- G. Pay all applicable fees established by City ordinances and resolutions including, but not limited to, those set forth in the Municipal Code and the Claremont Municipal Code. These shall include, but not be limited to:
1. Permit, plan check, and inspections;
 2. Transportation Impact;
 3. Drainage;
 4. Sewer Connection;
 5. Street Resurfacing;
 6. Public Works Permit and Plan Check Fees;
 7. Grading/on-site Permit and Plan Check Fees;
 8. Consultant Review Fees; and
 9. Cash Deposits/Surety/Bonds.
 - a. Work with the City Engineer to identify any areas for possible public improvement and accessibility improvement requirements contiguous to the Project site. All needed street/alley repair measures, including, but not limited to, removal and replacement of affected public improvements shall be completed to the satisfaction of the City Engineer.
 - b. Install all public right of way improvements (if applicable) and private onsite improvements including, but not limited to, drive approaches, landscape areas, and sidewalks meeting American with Disabilities Act (ADA) standards.
 - c. The developer shall submit a letter of non-interference from any utility company or easement holder whose easement may conflict with any proposed structures.

- d. Applicant must hire a licensed land surveyor to identify and field mark surveying monuments located on the property. The licensed land surveyor shall prepare a certification letter addressing monument preservation within the boundaries of the Project. All work related to these monuments to be in accordance with the California Business and Professions Code Section 8771 (b) & (c). The monument preservation certification addressing boundaries of the Project shall be provided to the Engineering Division prior to issuing any permits to start the work.
- e. If applicant's land surveyor cannot prepare this certification, the City's Acting Land Surveyor will conduct his own work/investigation (at the applicant's expense) to certify monument preservation within the boundaries of the Project. The Project schedule could be impacted should applicant chose to go with this option.

H. Special Conditions

1. Provide a maintenance agreement between the applicant and the City regarding any improvements that will be installed within City right-of-way or City property.
 2. The proposed project and site improvements may be subject to the City's Low Impact Development (LID) requirements for small projects. Work with City staff and storm water consultant to identify and comply with storm water best management practices (BMPs) requirements for treating stormwater runoff in the outdoor seating patio area. All associated fees for consultant review and approval will be billed to the applicant.
 3. The proposed project shall be in compliance with the City's Fats, Oils, and Grease (FOG) ordinance. Proposed occupancy will determine the type and capacity of grease control device necessary to maintain compliance. Grease control device will require City review and approval. Consultant review may be required. If so, all associated fees for consultant review and approval will be billed to the applicant.
 4. If there is an existing grease control device, the model, capacity, and design specification must be submitted to the City for review and approval. Upgrades to the existing system may be required.
 5. Kitchen must comply with California Health and Safety Code.
- I. The proposed project shall be in compliance with the City's Municipal Separate Storm Sewer System (MS4) ordinance. This includes, but is not limited to:
1. Construction activity;
 2. Site management – housekeeping;
 3. Erosion controls – scheduling and preservation of existing vegetation;
 4. Sediment controls – perimeter controls and stabilized construction site entrance/exit;

5. Non-stormwater management – water conservation practices and dewatering operations;
6. Waste management – material delivery and storage; stockpile management; solid waste management; concrete waste management; and sanitary/septic waste management.
7. Restaurant activity:
 - No person shall cause any refuse, rubbish, food waste, garbage, or any other discarded or abandoned objects to be littered, thrown, deposited, left, accumulated, maintained or kept in or upon any street, alley, sidewalk, storm drain, inlet, catch basin, conduit, drainage structure, place of business, or upon any public or private property so that the same may or does become a pollutant which may or does enter the storm drain system or receiving waters, except when such materials are placed in containers, bags, recycling bins, or other lawfully established waste disposal facilities protected from stormwater or runoff.
8. During grading and construction operations, the applicant shall:
 - Implement best available control measures (BACMs) to minimize nuisance levels of construction activity emissions such as dust, emissions, and off-site impacts. BACMs shall include, but are not limited to, the following:
 - a. Water all active construction areas at least twice daily.
 - b. Cover all haul trucks or maintain at least two feet of freeboard.
 - c. Pave or apply water four times daily to all unpaved parking or staging areas.
 - d. Sweep or wash any site access points within 30 minutes of any visible dirt deposition on any public roadway.
 - e. Cover or water twice daily any on-site stockpiles of debris, dirt, or dusty material.
 - f. Suspend all operations on any unpaved surface if winds exceed 25 mph.
 - g. Hydro seed or otherwise stabilize any cleared area which is to remain inactive for more than 96 hours after clearing is completed.
 - h. Require 90-day low-NOx tune-ups for off-road equipment.
 - i. Limit allowable idling to 5 minutes for trucks and heavy equipment.
 - j. Encourage carpooling for construction workers.
 - k. Limit lane closures to off-peak travel periods.

- I. Park construction vehicles off traveled roadways.
 - m. Wet down or cover dirt hauled off-site.
 - n. Wash or sweep access points daily.
 - o. Encourage receipt of material during non-peak traffic hours.
 - p. Sandbag construction sites for erosion control.
 - q. Prior to the release of any grading and on-site improvements and public works bonds, the improvements authorized by either the grading permit and/or public works permit(s) shall be completed to the satisfaction of the City Engineer.
- J. The applicant shall ensure that the following measures are honored during all construction-related activities for the Project:
 - 1. The hours of construction operation are limited to 7:00 a.m. to 8:00 p.m., Monday-Saturday, as in effect in the Municipal Code. No construction activities are allowed on Sundays and National holidays.
 - 2. During the course of all on-site grading and construction activity, the applicant shall employ adequate dust control measures in accordance with the Uniform Building Code, SCAQMD, and City requirements to minimize fugitive dust.
- K. Noise sources associated with construction activities shall not exceed the noise levels as set forth in Section 16.154.020(f) of the Claremont Municipal Code (CMC).
- L. Upon final inspection, the City will commence a 30-day lighting level review. If illumination levels, glare, or other applicable issues are found to be excessive, the applicants will be directed to modify the lighting as necessary to be at an acceptable level.
- M. To ensure compliance with the provisions of this design approval, a final inspection is required from the Planning Division before building permits are finalized. The applicant shall inform the Planning Division and schedule an appointment for such an inspection.
- N. Non-compliance with any condition of this approval shall constitute a violation of the City's Municipal Code. Violations may be enforced in accordance with the provisions of the administrative fines program of Chapter 1.14 of the CMC.
- O. The applicant and owner, by utilizing the benefits of this approval, shall thereby agree to defend at its sole expense any action against the City, its agents, officers, and employees because of the issues of such approval. In addition, the applicant and owner shall reimburse the City et al for any court costs and attorney fees that the City et al may be required to pay as a result of such action. The City may, at its sole discretion, participate at its own expense in the defense of any such action, but such participation shall not relieve the applicant/owner of its obligation hereunder.

- P. Failure to comply with any of the conditions, including design issues as shown on plans reviewed and approved by the City of Claremont, may result in failure to obtain a building final and a Certificate of Occupancy until full compliance is reached. The City's requirement for full compliance may require minor corrections and/or complete demolition of a non-compliant improvement, regardless of costs incurred, where the project does not comply with design requirements and approvals that the applicant agreed to when permits were pulled to construct the project.

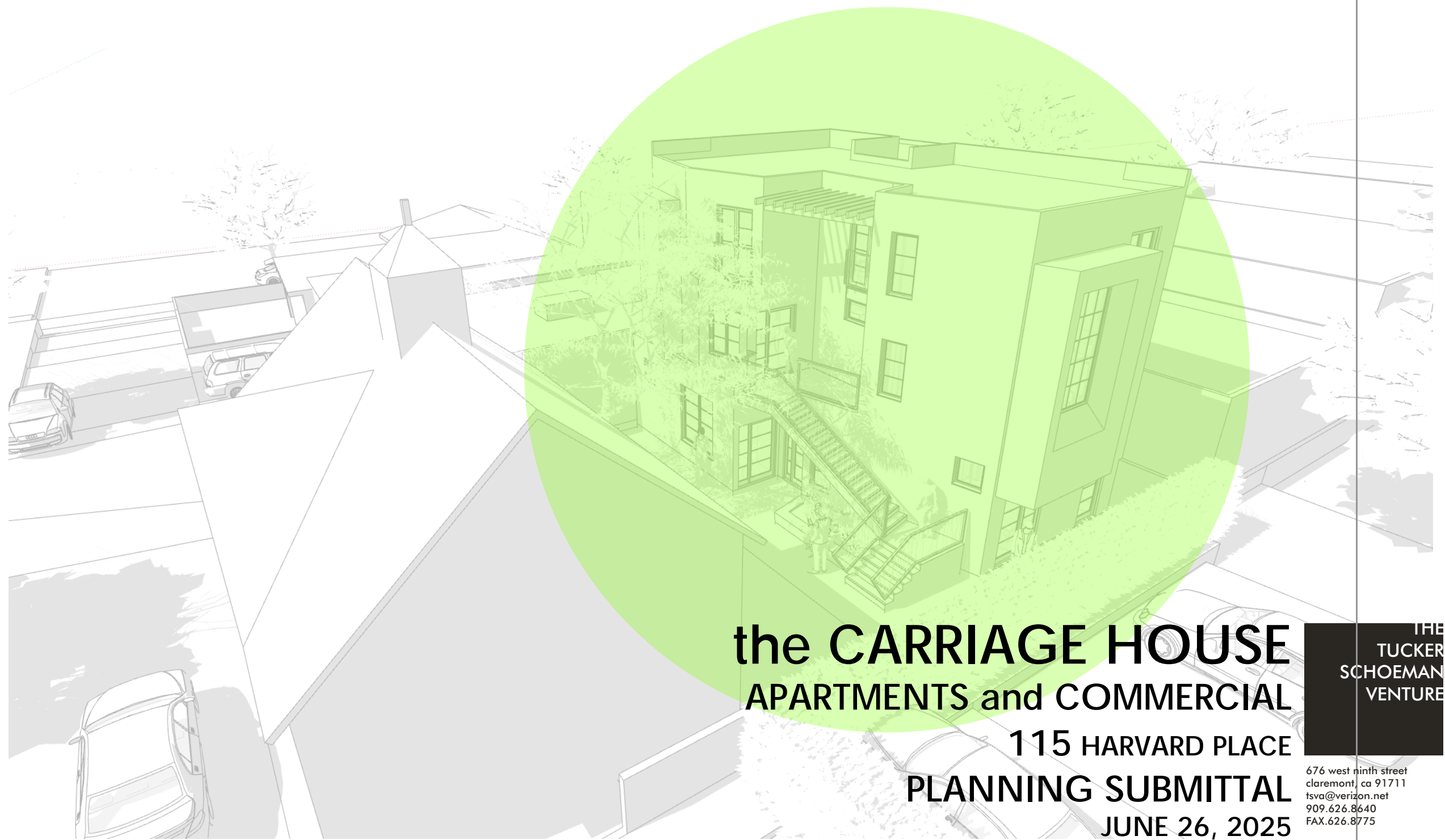
SECTION 5. The Architectural and Preservation Commission Chair shall sign this Resolution and the Commission Secretary shall attest and certify to the passage and adoption thereof.

PASSED, APPROVED, AND ADOPTED this 10th day of September, 2025.

Architectural and Preservation Commission Chair

ATTEST:

Architectural and Preservation Commission Secretary



the CARRIAGE HOUSE
APARTMENTS and COMMERCIAL

115 HARVARD PLACE

PLANNING SUBMITTAL

JUNE 26, 2025

**THE
TUCKER
SCHOEMAN
VENTURE**

676 west ninth street
claremont, ca 91711
tsva@verizon.net
909.626.8640
FAX.626.8775

INDEX OF THE SHEETS:

SITE PLAN AND CALCULATIONS
EXISTING SITE CONDITIONS
FLOOR PLANS
ROOF PLAN
UNIT PLANS
EAST EXTERIOR ELEVATION
NORTH EXTERIOR ELEVATION
WEST EXTERIOR ELEVATION
SOUTH EXTERIOR ELEVATION
BLOCK SECTION
PLANTER PLANTING
MATERIALS, COLORS, DOORS, AND WINDOWS
BUILDING LIGHTING
SOME CONTEXTUAL VIEWS

PROJECT INFORMATION:

115 Harvard Place
APN 8313 0018 010 and 8313 018 012
Zoning CV

OWNERS:

Brad Reeves
1155 N Harvard Ave
Claremont, CA
909.618.6722
brad@dreevesinc.com

ARCHITECT:

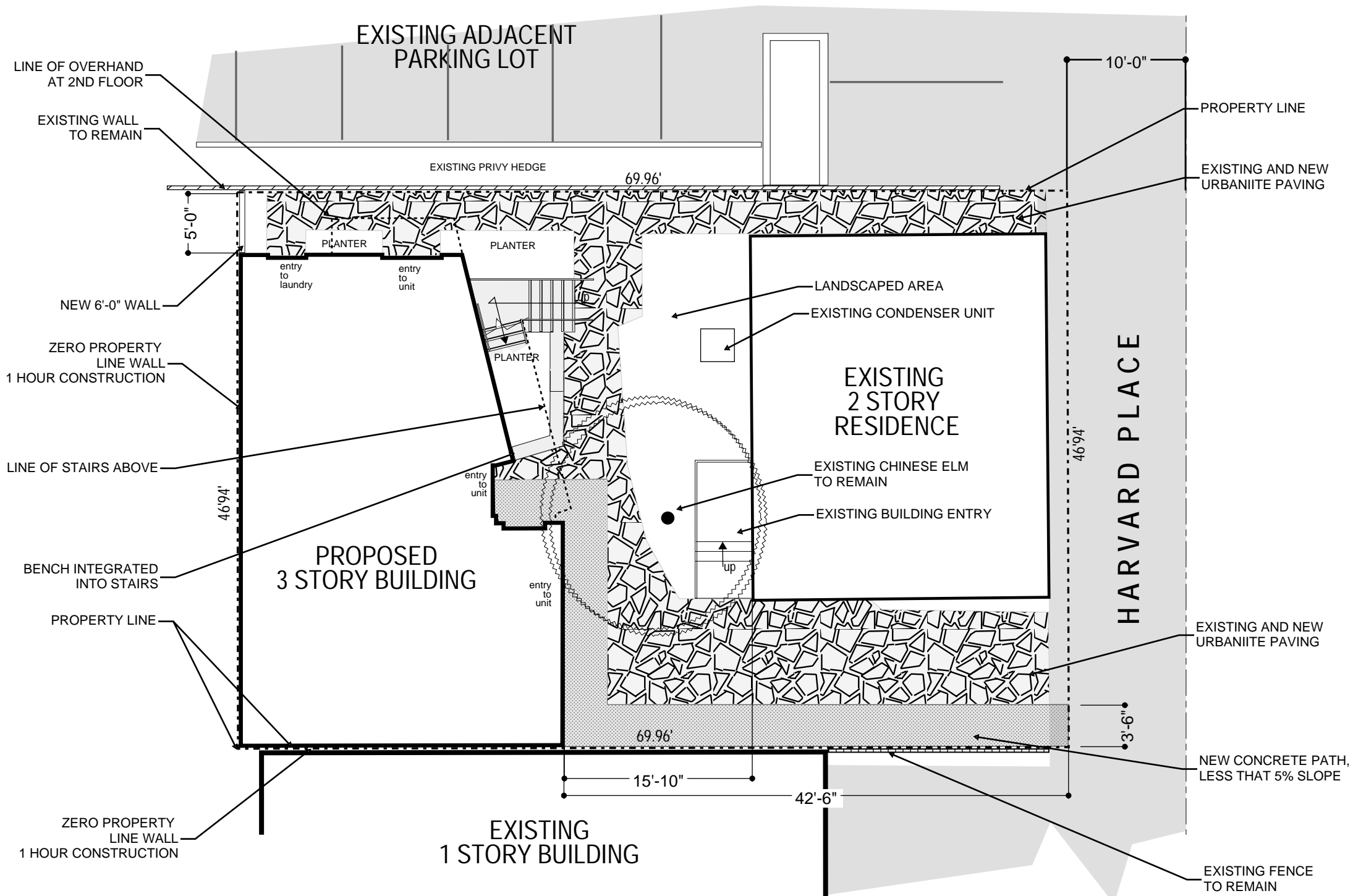
Mark Schoeman, AIA
C-19562
the TUCKER SCHOEMAN VENTURE (architects)
676 W 9th Street
Claremont, CA 91711
909 626 8640
mark@tsvarchitects.com

PLANNING SUBMITTAL 2.0

the CARRIAGE HOUSE
115 HARVARD PLACE



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AREA CALCULATIONS:

Lot Area: 3,286 sf
 Max Lot Coverage (100%) 3,286 sf

Existing Building 774 sf
 New Building 1,012 sf

Total Coverage: 1,786 sf (OK)

Proposed Floor Areas
 Commercial Space 464 sf
 Studio Apt A 226 sf
 Studio Apt B 216 sf
 Three Bdrm Apt C 825 sf
 Three Bdrm Apt D 792 sf

1st Floor Total 1,112 sf
 2nd Floor Total 940 sf
 3rd Floor Total 663 sf

Grand Total: 2,715 sf

BUILDING HEIGHT:
 Allowed 40'
 Provided 34'-10" (OK)

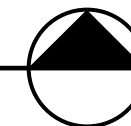
PLANNING SUBMITTAL 2.0

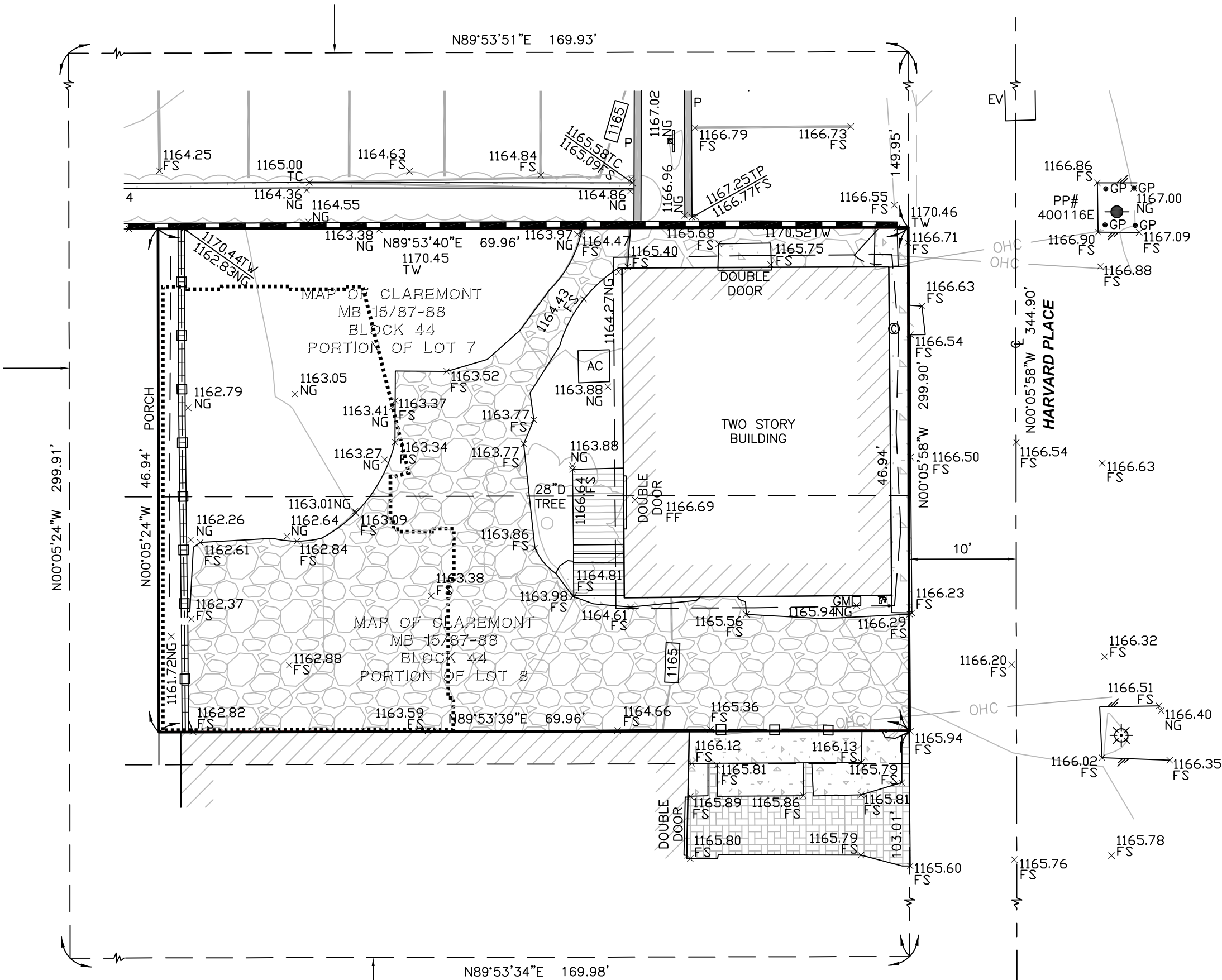
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SITE PLAN

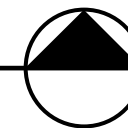
1" = 10'-0"





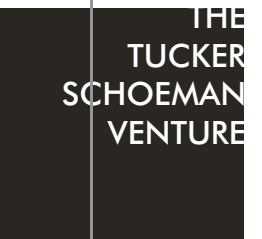
EXISTING SITE PLAN

1" = 10'-0"

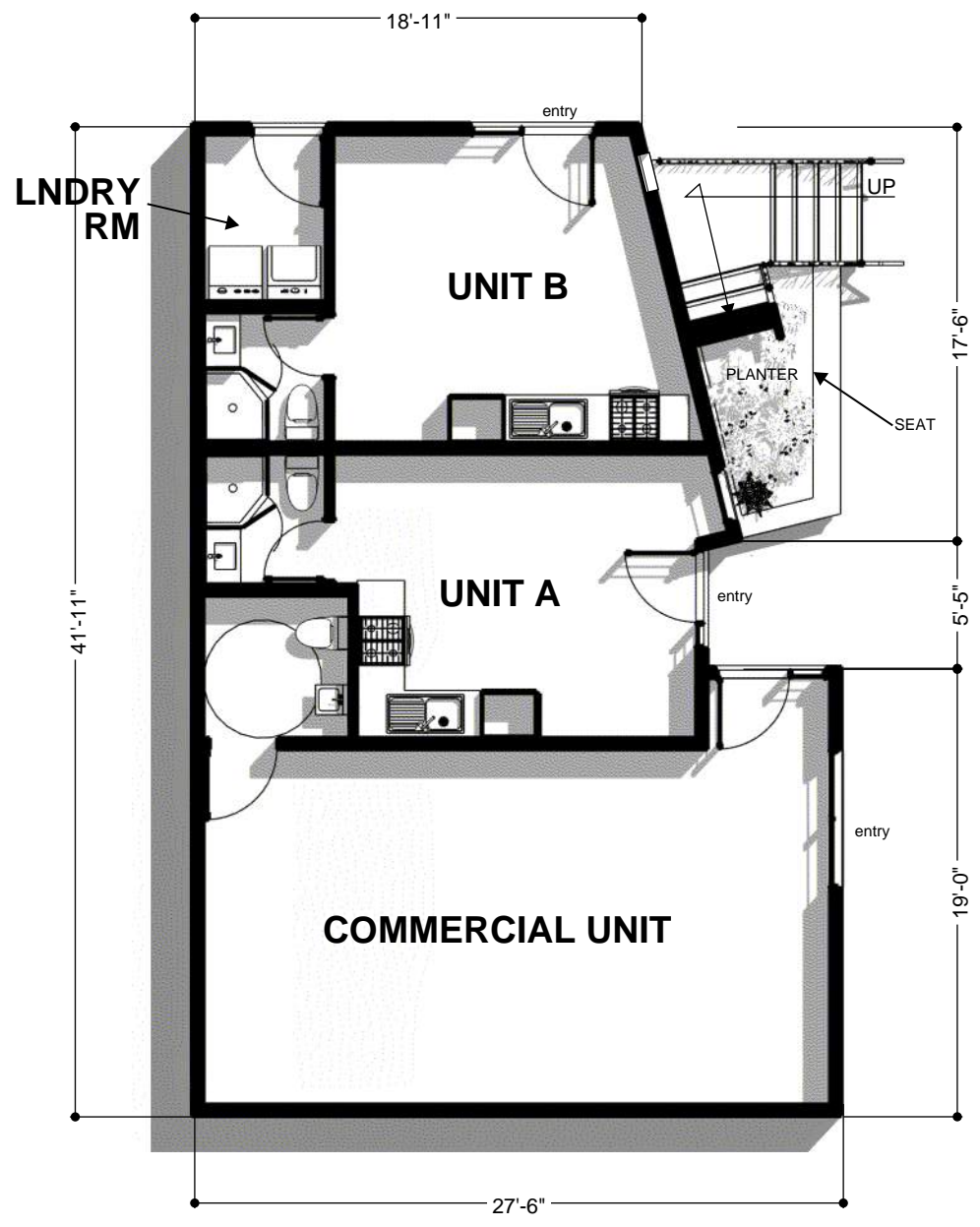


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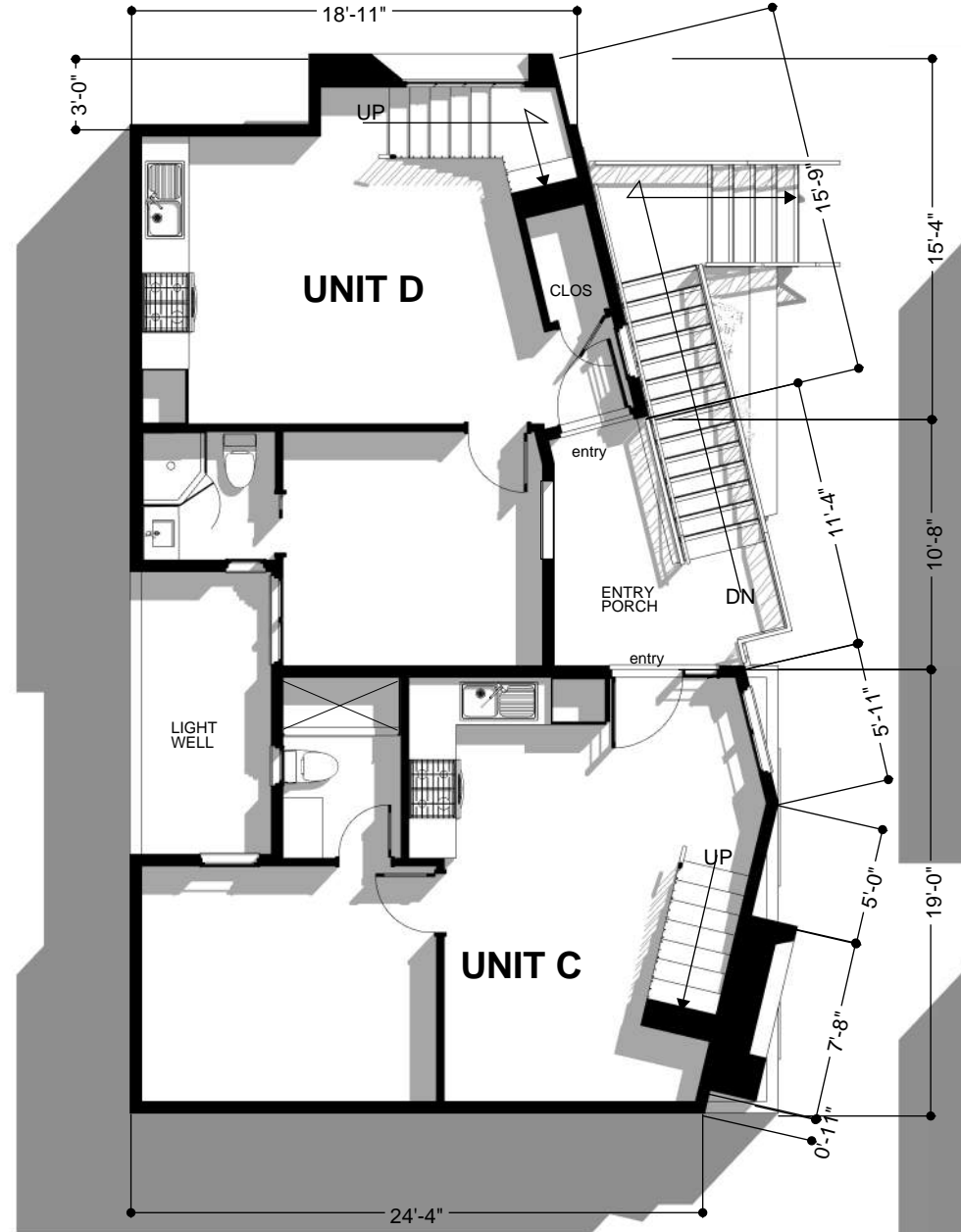
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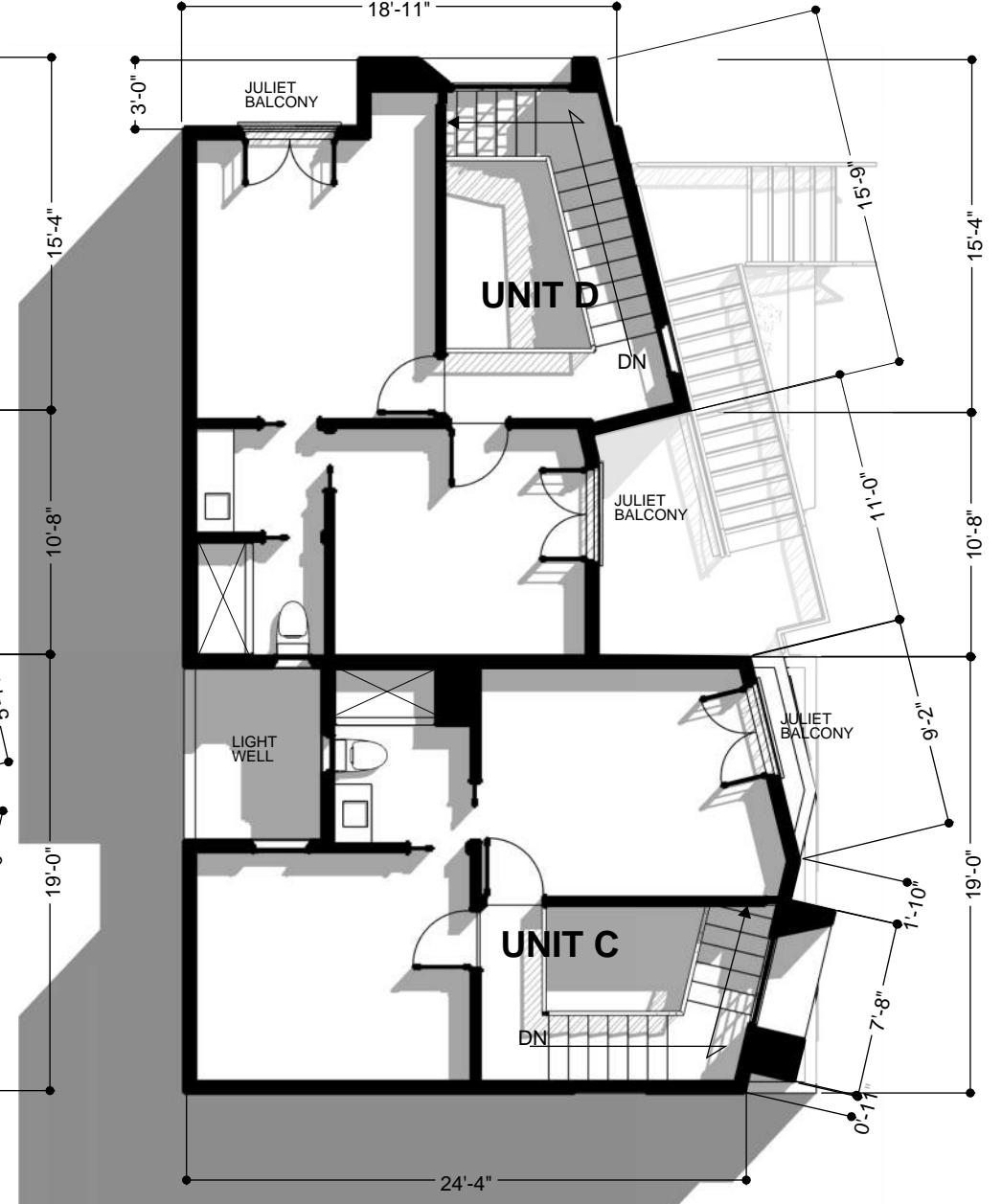
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GROUND FLOOR



SECOND FLOOR



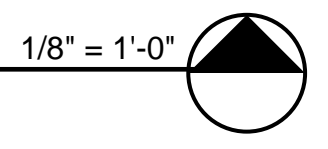
THIRD FLOOR

PLANNING SUBMITTAL 2.0

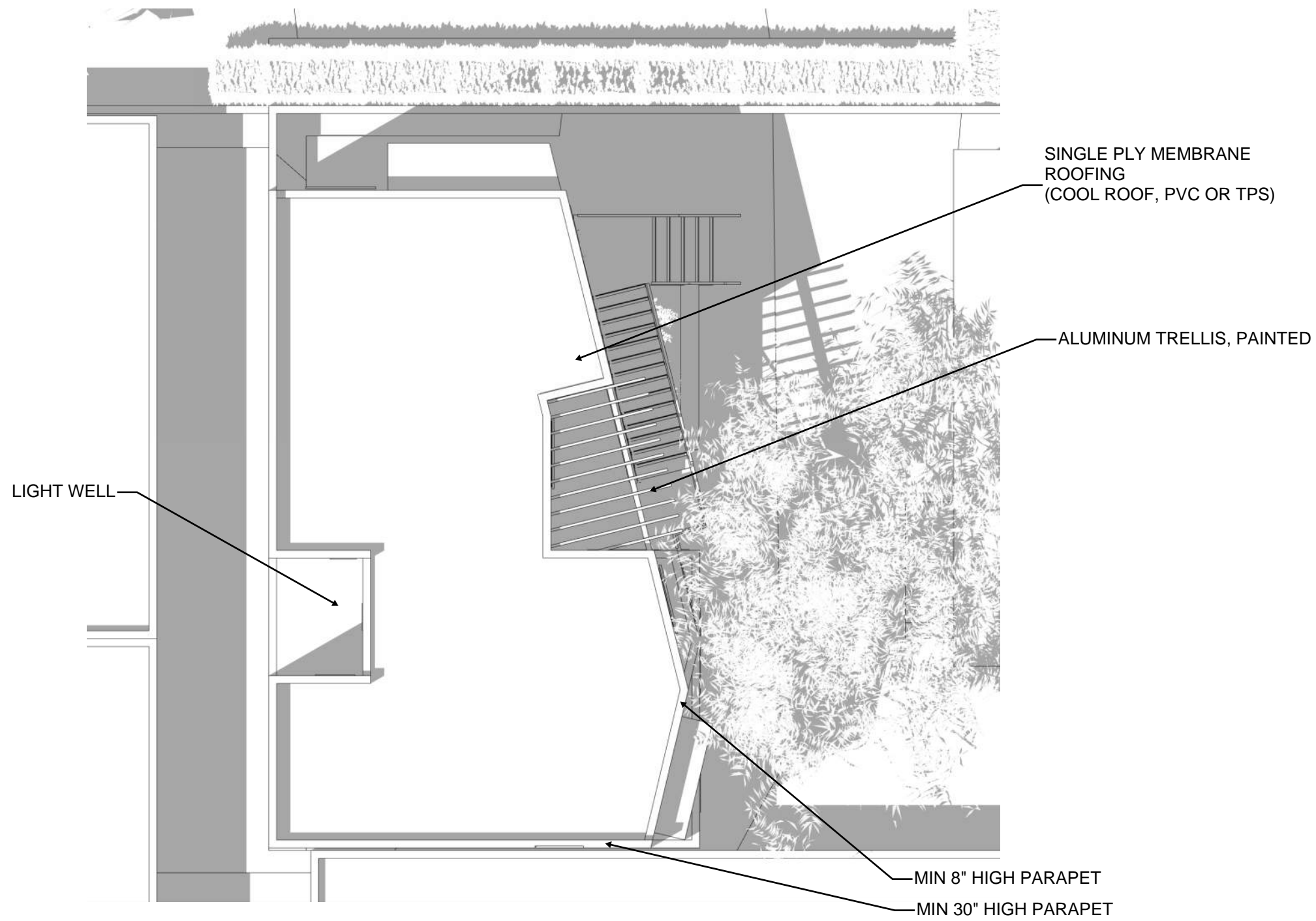
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FLOOR PLANS

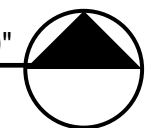


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ROOF PLAN

1/8" = 1'-0"

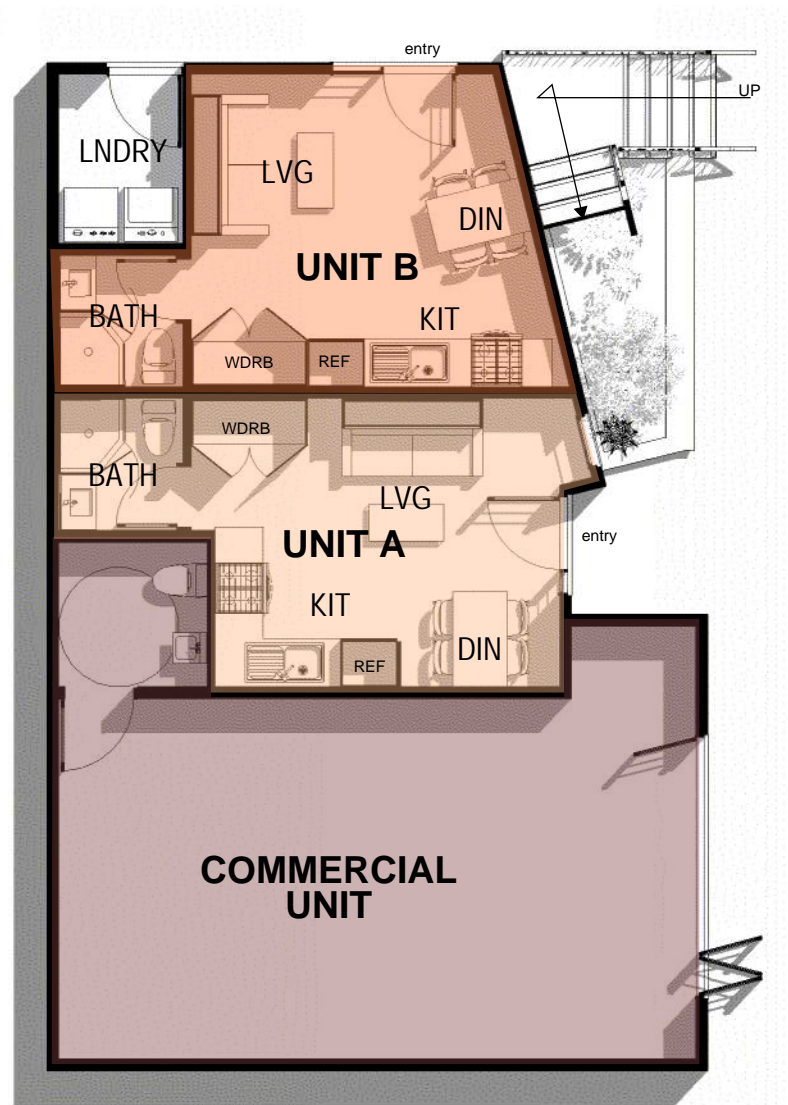


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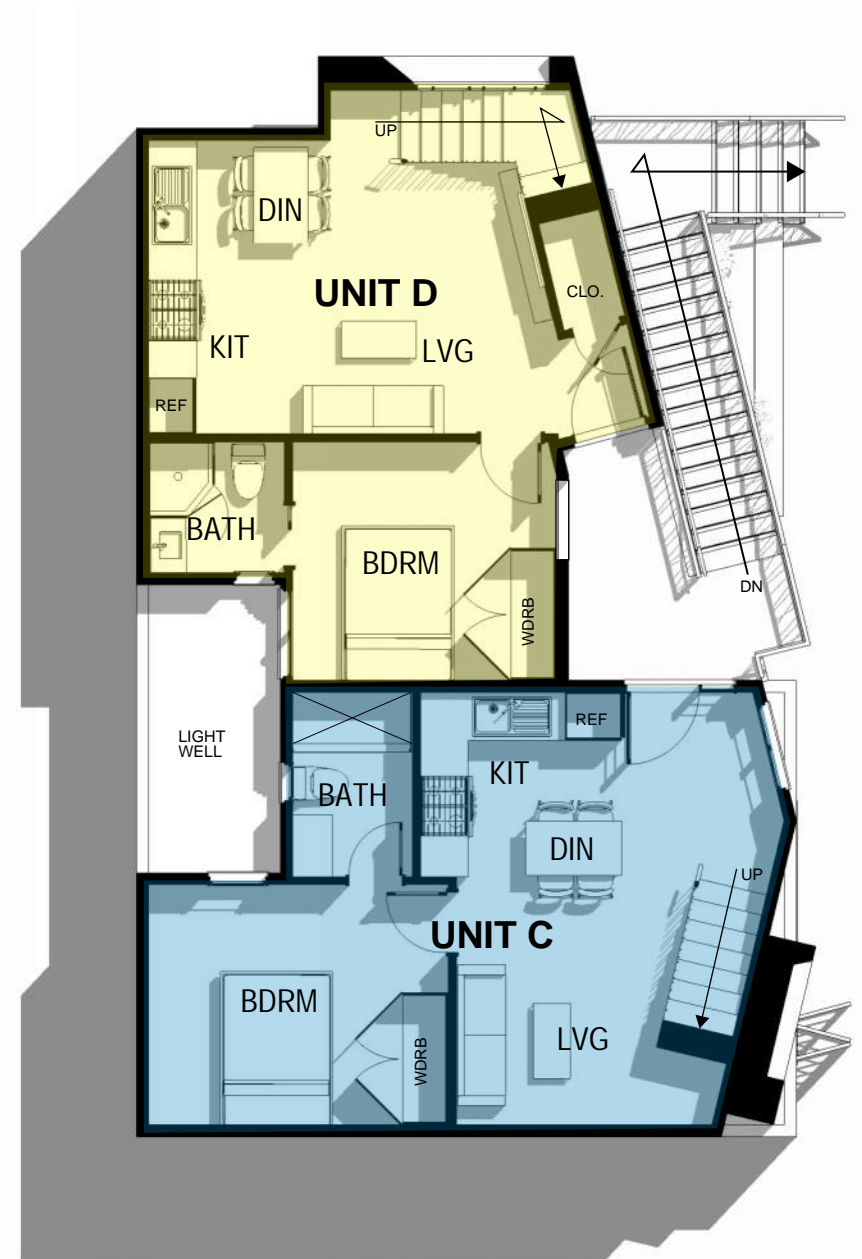
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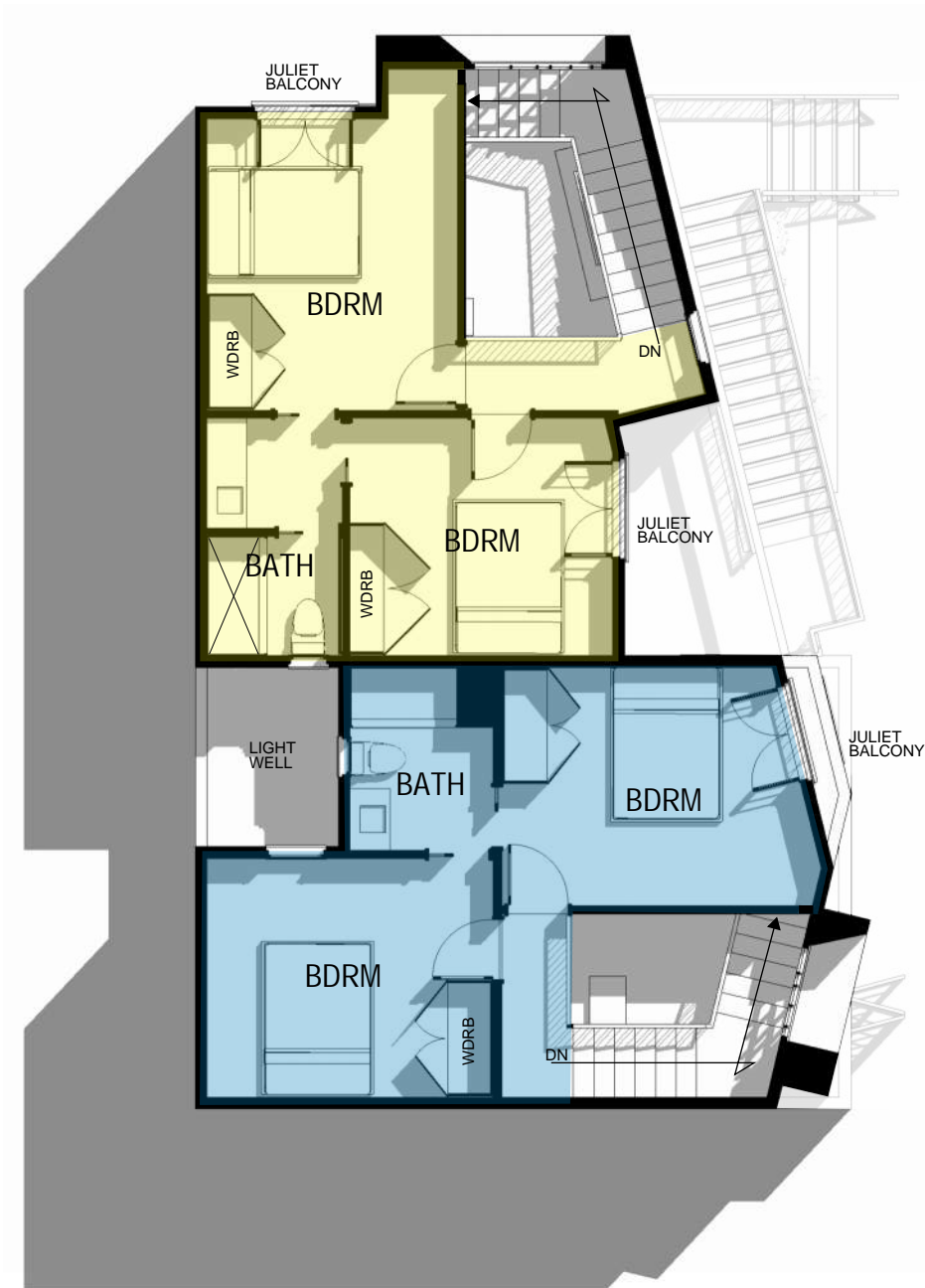
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GROUND FLOOR



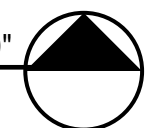
SECOND FLOOR



THIRD FLOOR

UNIT PLANS

1/8" = 1'-0"



THIS PLAN IS FOR UNDERSTANDING
 THE UNIT LAYOUTS AND FUNCTIONS.
 PLEASE REFER TO THE PREVIOUS
 PLANS FOR DIMENSIONS AND EXTERIOR
 LAYOUTS

PLANNING SUBMITTAL 2.0

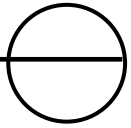
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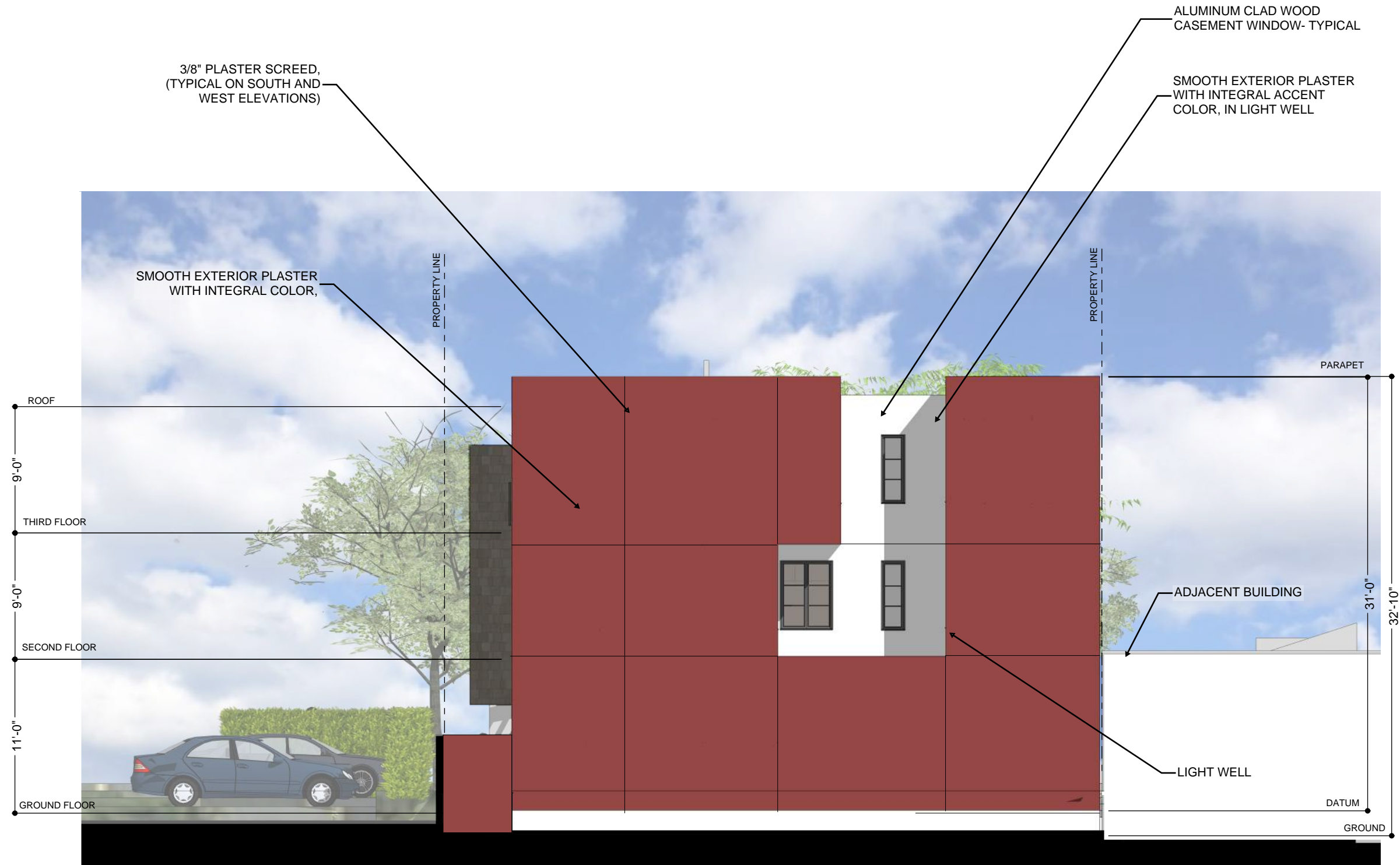
EAST ELEVATION

1/8" = 1'-0" 

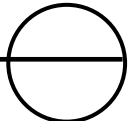


NORTH ELEVATION

1/8" = 1'-0"



WEST ELEVATION

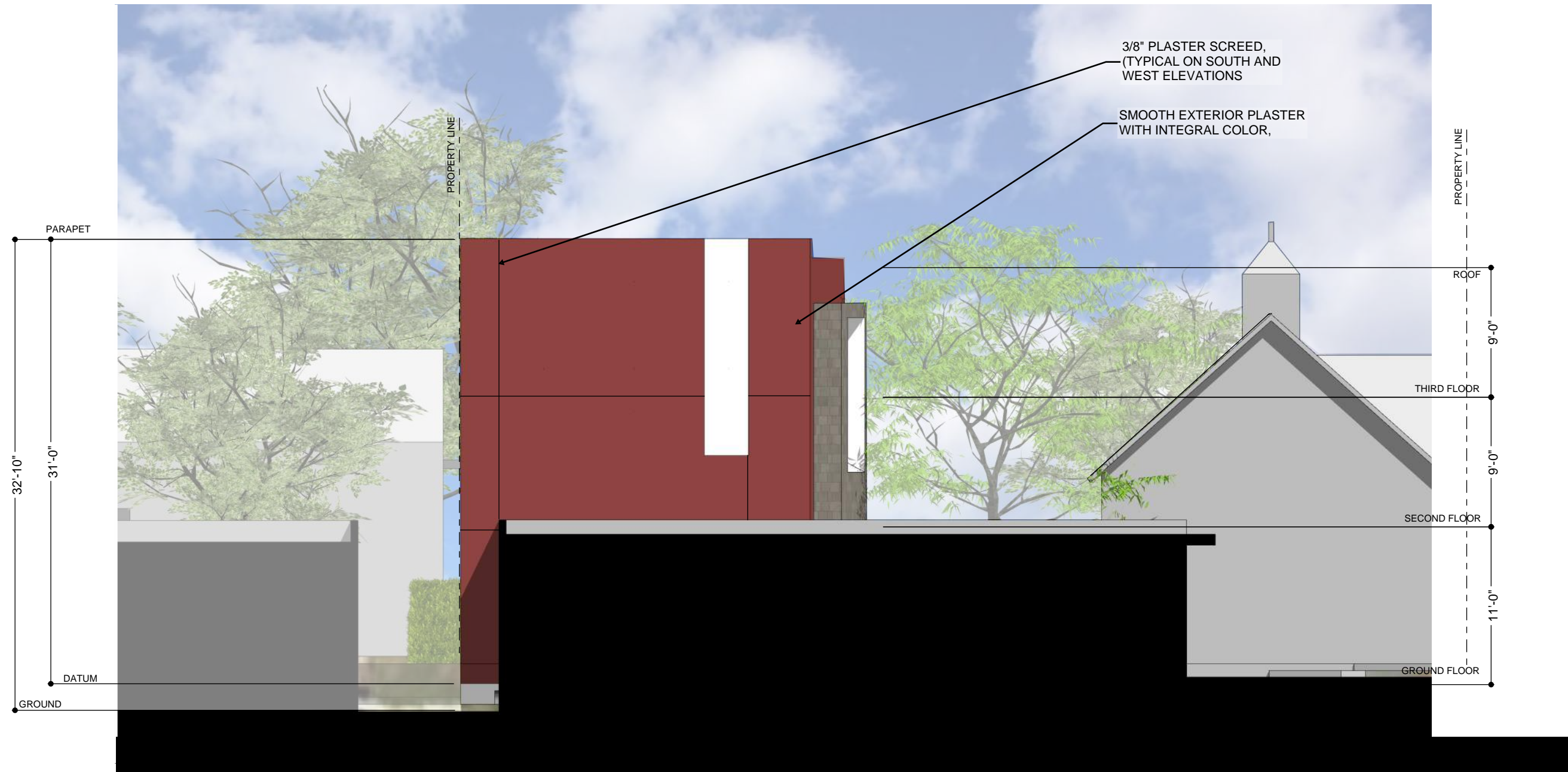
1/8" = 1'-0" 

PLANNING SUBMITTAL 2.0

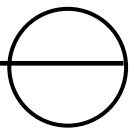
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SOUTH ELEVATION

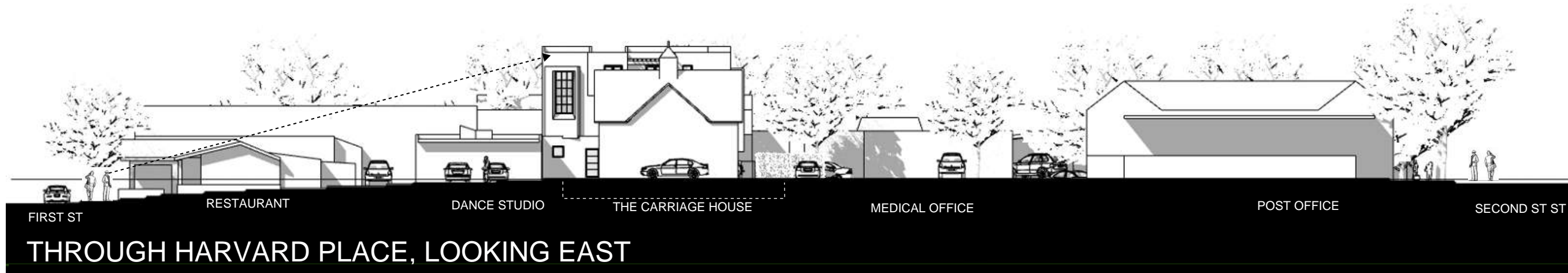
1/8" = 1'-0" 

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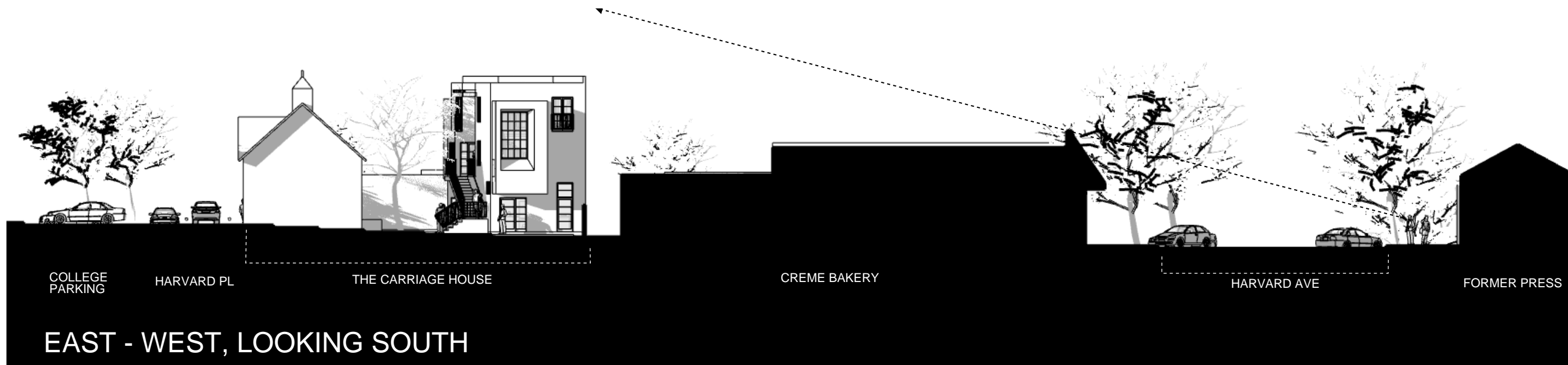
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THROUGH HARVARD PLACE, LOOKING EAST



EAST - WEST, LOOKING SOUTH

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BLOCK SECTIONS

1" = 30'-0"

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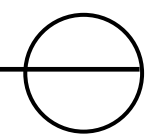


COURTYARD SECTIONAL VIEW

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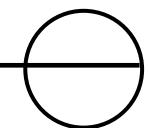
ALLEY VIEW

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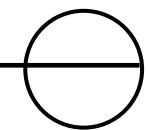
VIEW FROM CITY HALL

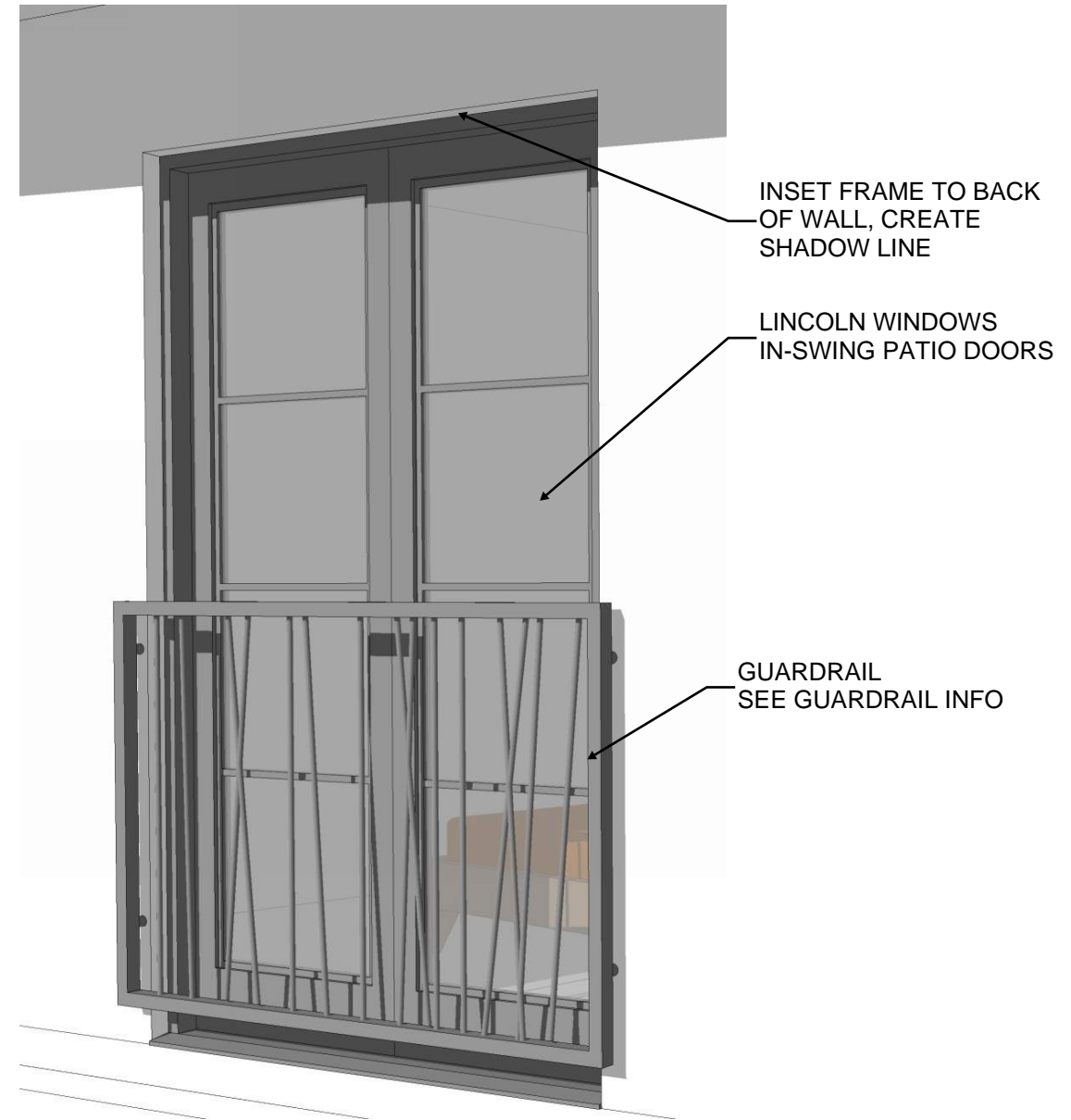
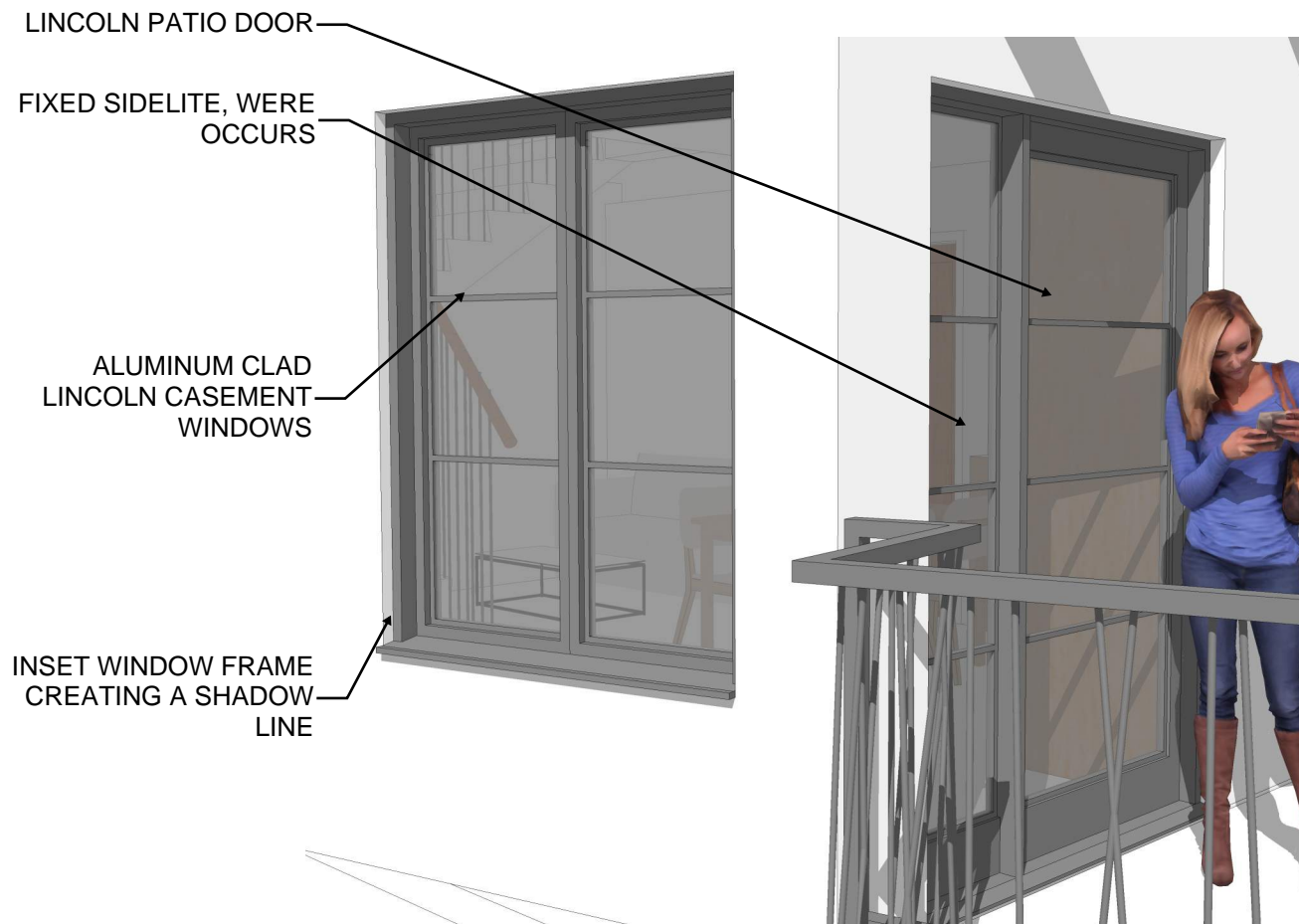
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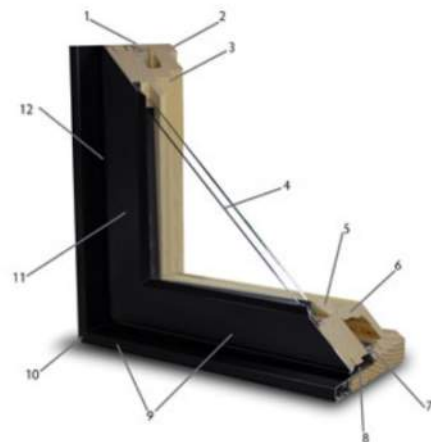
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Casement/Awning Window Corner



Features

1. 4-9/16" jamb
2. 1-3/16" thick side jambs, head and sill
3. Clean interior stop design
4. 7/8" warm edge insulating glass
5. Interior wood glazing bead
6. Maximum thickness sill cover
7. Full surround frame weatherstrip
8. Thermally enhanced frame with specialty composite polymer
9. .050 extruded aluminum on sash and frame. Wood units have primed sash on the exterior with cPVC, sill nosing and brickmould
10. Gasketed frame corners on aluminum clad products with corner key for added stability
11. 1 3/4" thick sash
12. Sash weatherstrip with combination drip cap detail on top rail



Driftwood

LINCOLN WINDOWS AAMA 2605 COLOR



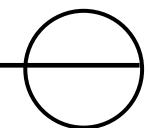
SIMILAR WINDOW CONFIGURATION FROM LINCOLN WINDOWS

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WINDOW DETAILS



HARD TROWELED
CEMENT PLASTER WITH
INTEGRAL COLOR
TEXTON
VENEZIANO (CM-18164)
STUCCO COLOR

EXTERIOR PLASTER



ZINC SHINGLES



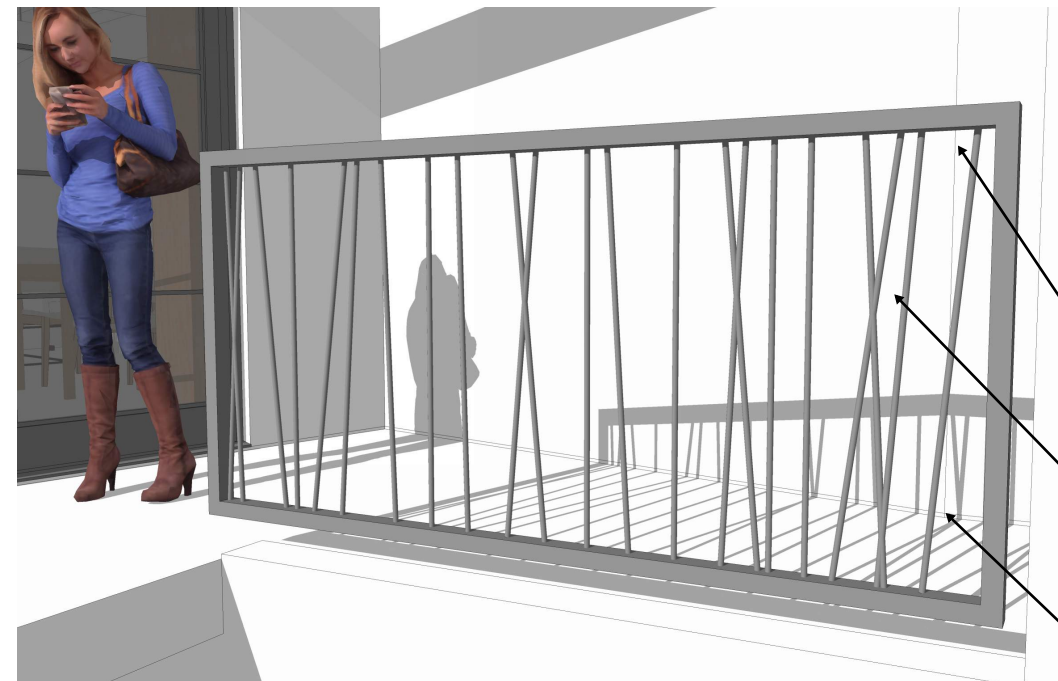
STEEL STRINGER
PAINT TO MATCH
WINDOWS

PRECAST TREAD AND
RISERS:
EMPIRE PRECAST
"CANYON"



Adobe Brown (C-004)

TREAD, RISER, SEAT
AND WALL FINISH IS
EXPOSED AGREGATE



GUARDRAILS

PAINT COLOR TO MATCH
WINDOWS

1/2" DIAMETER RODS,
VARIOUS ANGLES
MAX 4" OPENING
WELDED AND PAINTED

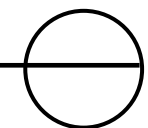
1 1/2"X1 1/2" FRAME
WELDED AND PAINTED

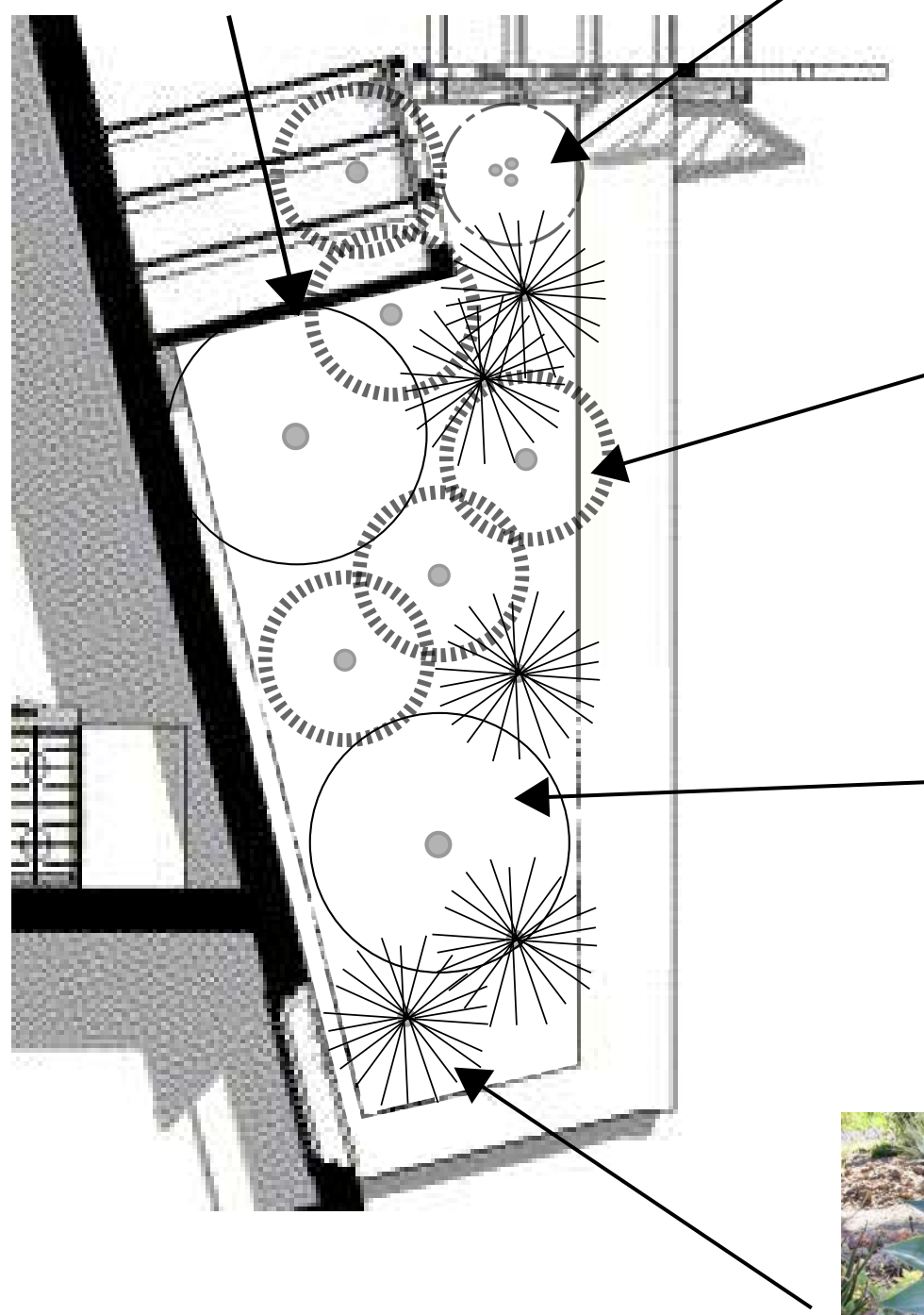


INTEGRAL CONCRETE
COLOR:
DAVIS COLORS

STAIRS AND STEPS

FINISHES AND DETAILS





Beyond Midnight Bluebeard (Caryopteris)



Ceanothus 'Julia Phelps'



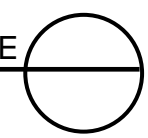
Salvia 'Desperado'



Foxtail Agave (Agave palmeri)

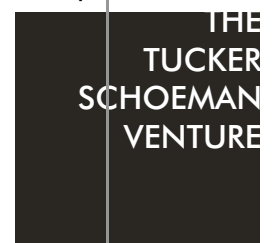
PLANTING PLAN

NO SCALE



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Capital Lighting Lofton 1 Light
Outdoor Wall Lantern 17.25" Black
Product Dimensions:
17.3 inches wide, 11.5 inches high
LED 13w
1100 lumens



LOCATIONS



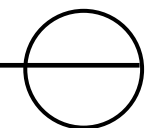
INTENT

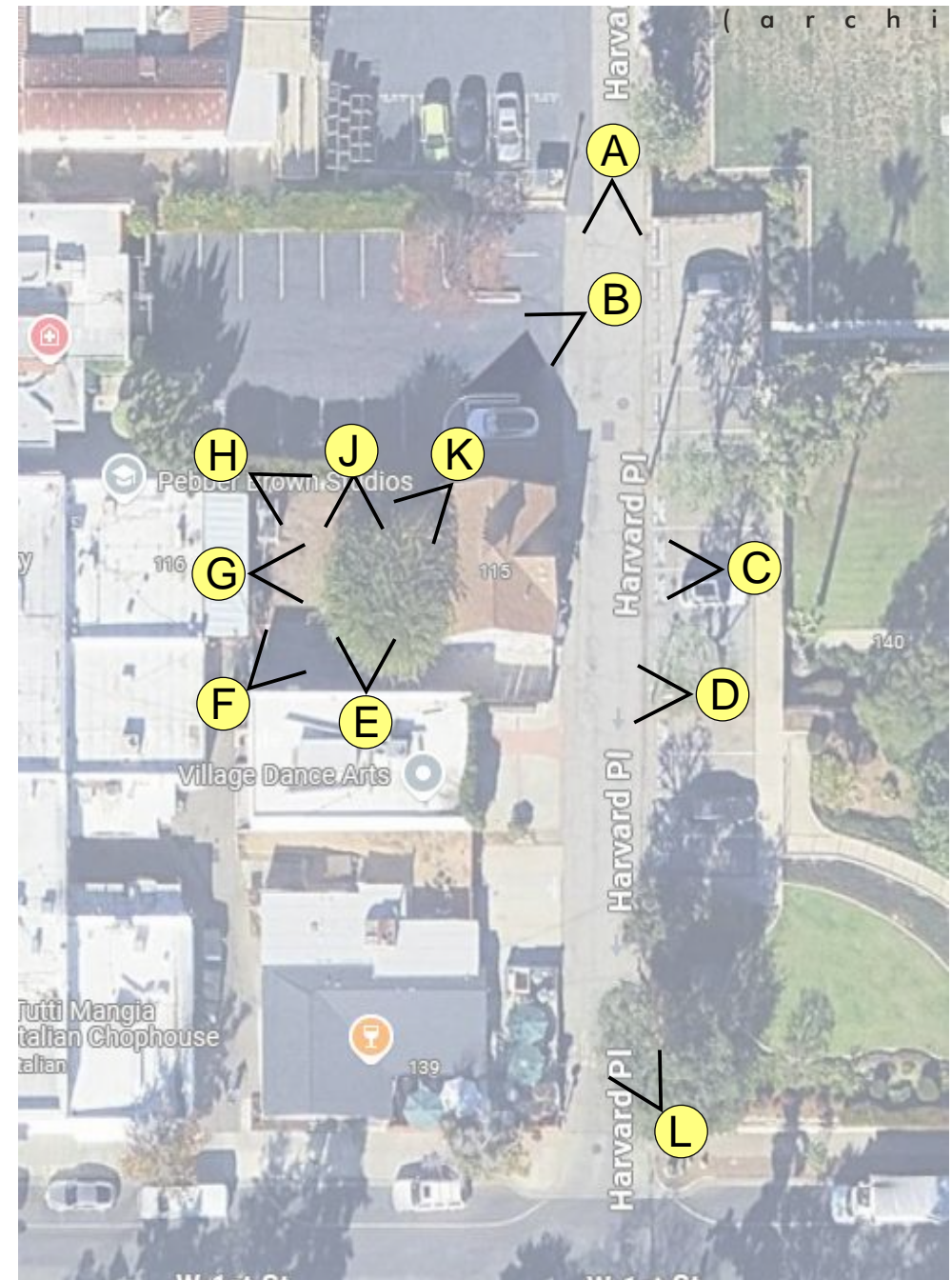
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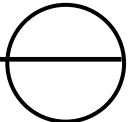
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BUILDING LIGHTING





SITE and AREA CONTEXT IMAGES

NO SCALE 

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30'S FEDERALIST

20'S SPANISH REVIVAL

1900'S CLASSIC BRICK



70'S WHAT-EVER

1900'S CLASSIC NON DESCRIPT

20'S MISSION REVIVAL

50'S MODERN



MODERN ATTACHMENT

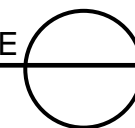
20'S SPANISH REVIVAL

70'S GRANOLA MODERN



2010'S SCOTTSDALE MODERN

NO SCALE



AREA ARCHITECTURE

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